

### **Site Notes:**

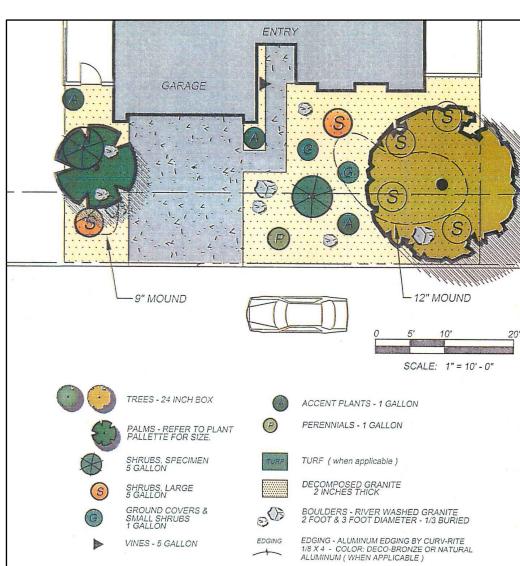
- 1. Landscape and irrigation must be completely installed prior to issuance of certificate of occupancy.
- 2. Block wall required to issuance of certificate of occupancy, according to City Ordinance, Block Wall Require Separate Permit.
- 3. Chain Link Fence shall NOT Be Permitted 4. A/C Condenser Unit must be visually and acoustically screened the method of screening must be functionally and architecturally compatible in terms of materials, color shape and size. Chain Link Shall not be used to
- screen 'A/C Unit. 5. Front Yard Landscape must have 100% ground coverage (Leg Rock, Gravel and or Plant Material).
- 6. Trees and shrubs shall can be located on public right of way trees planted near public curbs shall have limited root structure and shall be installed in such manner as to prevent physical damage to any public improvements (Sidewalks, Curbs & Gutters). a deep root system shall be used.
- 7. 6'-0" Block Wall Fence must be completed prior to final
- 8. 100% front ground coverage, landscaping and irrigation must be installed prior to final inspection.
- 9. All gates shall swing outward, away from the backyard area. This will meet future pool requirements and not
- require gates to be change.

  10. Block walls not to exceed 6'-0" in Height from the
- Tan Precision, slump-stone or stucco both sides for block wall permitted, Grey Block Wall Prohibited. 11. Outdoor Lightning to comply with City Nite Sky Ordinance.

Irrigation Control Requirements: Location of Irrigation Controllers Weather Base controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not

required to have rain sensor input.





Proposed Landscape ARID (Pre Approved By MSWD)

North

# Site Plan Lot No. 298

### **Tabulation Area:**

### Based on Square Feet and Percentage

ite Area: ,645.0	Square Feet	=	100.00	%
otal Buildi ,413.0 Sq	ing Area Including Covered Patios: . Ft.	=	36.31	%
riveways 50.0 Sq. F	and Parking Areas: Ft.	=	6.77	%
pen Spac	ee Area (Landscaping & Recreation)	=	56.91	%

### **Unauthorized Changes & Uses:**

The designer preparing these plans will not be responsible for, or liable for, unauthorized changes to uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

### Residential Mandatory Measures:

- Storm water drainage and retention during construction Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.
- a. Retention basins of sufficient size shall be utilized to retain storm water on the site. b. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.

### c. Compliance with a lawfully enacted storm water management ordinance.

Cornices, eave overhangs, exterior balconiesand similar projections extending beyond the floor area shall conform to the requirements of this section and Section 1406 Exterior egress balconies and exterior exit stairways shall also comply with Section 1014.5 and 1023.1 respectively. Projections shall not extend beyond the distance determined by the following two methods, whichever result in the lesser projection: 1. A point one-third the distance to the lot line from an assumed vertical plane located

where protected openings are required in accordance with Section 704.8.

### 2. More than 12 inches (305 mm.) into areas where openings are prohibited. C.B.C. Chapter 7 Section 704.2.

### **Utility Companies:**

Power:	Southern California Edison
	73-540 Highway 111
	Palm Desert, CA 92260
	Telephone 1-(800) 655-4555
Water:	Mission Springs, Water District
	66575 Second Street
	Desert Hot Springs, CA 92240
	Telephone: 1-(760) 329-5169
	Fax Number; 1-(760) 329-2482
Gas Company	Southern California Gas Company
. ,	Telephone: 1-(800) 427-2200
Cable T.V.	Warner-Cable Road Runner
	81-557 Dr. Carreon Boulevard # C-
	Indio, CA 92201

Telephone: 1-(866) 340-0183 Telephoen: 1-(760) 340-2225 **School District** Palm Springs School Unified District 980 East Tahquitz Canyon Way Palm Springs, CA 92276

Permit Assistance Center

Telephone: 1-(760) 416-6000 City Hall Building & Safety Dpto. 65-950 Pierson Boulevard Desert Hot Springs, CA 92240 Phone Number: 1-(760) 329-6411

### **Storm Water And Retention:**

Projects disturbing less than one acre shall comply with Section 4.106.2 of The California Green Building Standards Code (CGBC). Compliance:

### **Use STRAW WATTLES**

Straw Wattles or Fiber Rolls are very similar to Straw Bales; Straw Wattles or Fiber Rolls are very similar to Straw Bales; however, they come in roles and are design to be placed along the contours of a slope to prevent sediment discharge. Straw Wattles allow water to seep through the material while preventing the transfer of sediment. Proper installation of Straw Wattles requires the Wattles to be entrenched into the ground at least 2" - 3" deep and stacked roughly every six feet (6') Minimum Stakin requirements of Straw Wattles increases on a slope to roughly one stake every Four Feet (4') Additionally, the proper Layout of Straw Wattles requires the ends to be looped up in a 'J' fashion on each end to prevent the water plus suspended sediment from just flowing prevent the water plus suspended sediment from just flowing around the ends, thus defeating their intended purpose.

Name & Address of Owner: CASTLE ROCK CONSTRUCTION 3727 W. Magnolia Blvd. # 750 Burbank, CA 91505 Telephone: 1-(323) 285-1902

Name & Address Of Applicant: CASTLE ROCK CONSTRUCTION 3727 W. Magnolia Blvd. # 750 Burbank, CA 91505 Telephone: 1-(323) 285-1902

E-Mail Address: info@castlerockconstruction.com A. P. N. Number = 661-470-009 A. P. N. Number = 661-470-010 A. P. N. Number = 661-470-011 A. P. N. Number = 661-470-012

E-Mail Address: info@castlerockconstruction.com

Job Address: Lot No. 298 ROCKIES AVENUE DESERT HOT SPRINGS, CA 92240

Legal Description: Lot 298 POR. N. W. 23 T. 2 S. R., 4 E. CITY OF DESERT HOT SPRINGS M.B. 374/52-56 TRACT 24384-4 Map Book 661 Page 47 Riverside County Records, Riverside, California.

Title Exhibit: Single Family Residence 1,900.0 Sq. Ft. Residence Living Area Two Car Garage Area: 453.0 Sq. Ft. 60.0 Sq. Ft. Covered Entry Area: 2,413.0 Sq. Ft. Total Building Area:

6,645.0 Sq. Ft. 0.15 Acres Lot Area: Zoning Classification:

On City Sewer

### Code Requirements:

### This Project Comply with

2016 2016 2016	California Building Code California Electrical Code California Mechanical Code
2016	California Plumbing Code
2016	California Energy Code
2016	California Fire Code
2016	California Residential Code
2016	Green Code

All other State and Local Codes that are applicable.

R-3-U/L Occupancy: Type of Construction V-B YES Sprinklers Required

Finish Floor = 000.00Pad Elev. = 000.00

If Finish Floor of dwelling is not above upstream manhole provide Backwater Valve per C.P.C. 710. Fixtures above such elevation shall not discharge through the backwater valve

- Irrigation Controllers:
- Field verify controller installation when the controllers are installed by the contractor time of building final.
- If Finish Floor of dwelling is not above upstream manhole provide Backwater Valve per C.P.C. 710. Fixtures above such elevation shall not discharge through the backwater valve
- Foundation Elevation Must Be 18" (Inches) Above Top Of Curb Or Crown Of Street Unless Engineered Design Provides Equivalent Protection. (1805 CBC Ord. amendment)
- Minimum 50 % Front Yard Landscaping
- Landscape To City Standards
- All Existing Block Walls to be of Sound Construction and 6' high from Proposed Site Side.
- Provide Termite Treatment Of Soils Prior To Pouring Concrete.
- Curb and Gutter are Existing Curb Cut For Driveway Approach & City Side Walk Will Be Under A Separate

# Mendoza en Principal

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Date
00-00-2019

Revisions Date Planning Revision 07-20-2019

# Applicant Name:

### **CASTLE ROCK** CONSTRUCTION

3727 W. Magnolia Blvd. # 750 Burbank, CA 91505 Phone No. 1-(323) 285-1902

info@castlerockconstruction.com

Lot No. 298 Rockies Avenue Desert Hot Springs, CA 92240

## Site Plan & **General Notes**

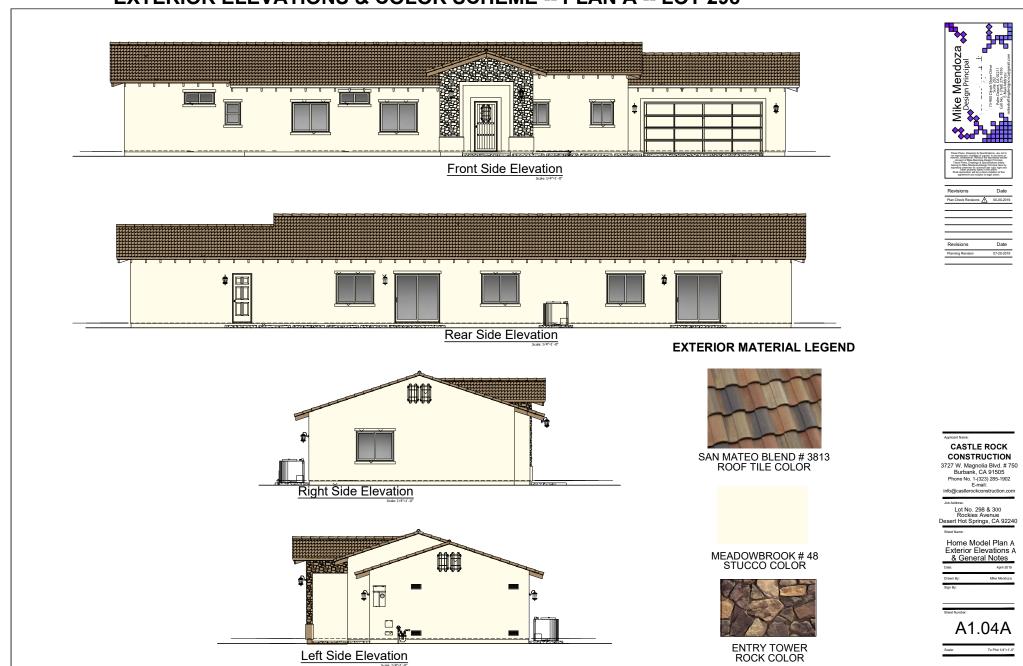
Mike Mendoza

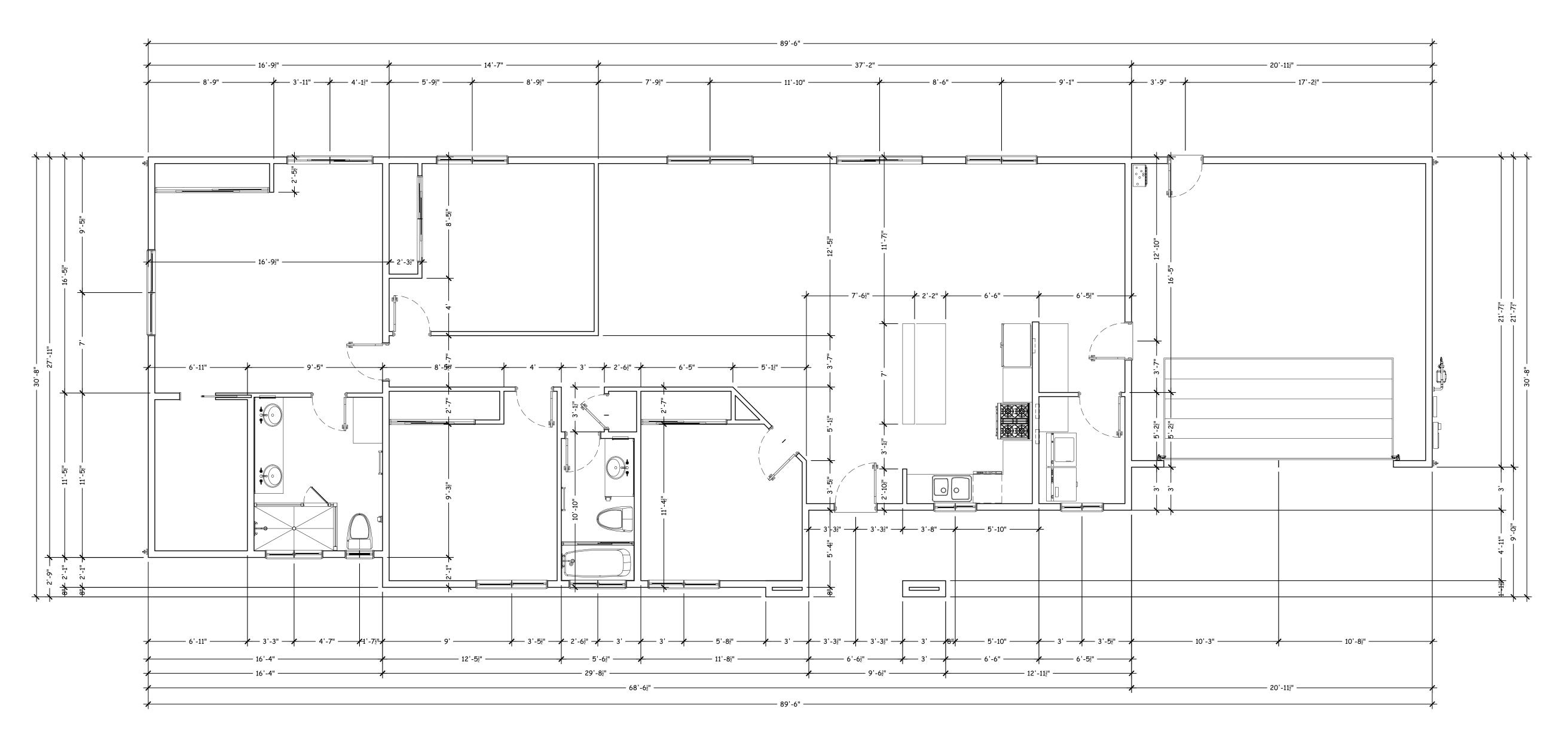
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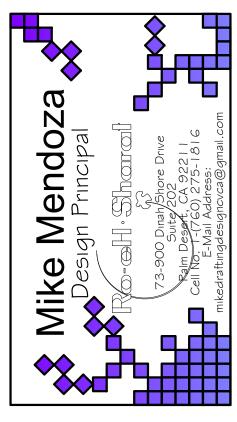
# Home Model Plan A

### **EXTERIOR ELEVATIONS & COLOR SCHEME -- PLAN A -- LOT 298**





Dimension Floor Plan



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Revisions	Date
Plan Check Revisions 1	00-00-2019
Revisions	Date
Planning Revision	07-20-2019

Applicant Name:

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3727 W. Magnolia Blvd. # 750 Burbank, CA 91505 Phone No. 1-(323) 285-1902 E-mail: info@castlerockconstruction.com

Lot No. 298, 299 & 300 & 301 Rockies Avenue Desert Hot Springs, CA 92240

Sheet Name:

Dimension Floor Plan

	Date:	April-2019
	Drawn By:	Mike Mendoza
ı	Sign By:	

A1.02A

To Plot 1/4"=1'-0"