

## **REPORT TO THE PLANNING COMMISSION**

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**DATE:** June 11, 2019

**TITLE:** Applications for implementation of the Tuscan Hills Specific Plan, a master planned residential subdivision and a proposed 334 room resort hotel and spa located on a vacant 554 acre property located along the north side of Pierson Blvd east of Foxdale Drive Applicant: Walton Development & Management, Southwest USA.

**Prepared by:** Scott Taschner, Senior City Planner

**Reviewed by:** Rebecca Deming, Community Development Director

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### **RECOMMENDATION**

- 1) Staff Report;
- 2) Entertain Questions of Staff from Planning Commission;
- 3) Open the Public Hearing;
- 4) Take Testimony from Applicant;
- 5) Take Public Testimony;
- 6) Opportunity for Applicant Rebuttal
- 7) Close the Public Hearing;
- 8) Planning Commission discussion and questions to Staff; and
- 9) Recommendation from staff Planning Commission recommend to City Council 1) Certification of the Addendum of the Environmental Impact Report and Mitigation Monitoring Program and approval of:
  - A Resolution and Ordinance approving the Specific Plan 02-16, General Plan Amendment 03-16, and Zoning Ordinance Amendment 03-16 to establish development regulations and guidelines for the subject site;
  - Tentative Tract Map Nos. 36774, 37300, 37301, 37302, & 37303 - to subdivide the properties into 585 lots plus streets, open space and detention basins for a vacant 554.8 acre site located on the north side of Pierson Boulevard east of Foxdale Drive on the former Desert Hot Springs Resort Cornerstone Specific Plan project site. APN's 638-340-003, 005, 006, 007, & 638-330-001, 002, 003, & 632-270-006.

### **PRIOR ACTIONS**

- On May 30, 1991 the City council approved the Desert Hot Springs Resort Cornerstone Specific Plan (DHSRCSP) and in doing so certified the Final Environment Impact Report (SCH 900020556) for the project.
- On February 5, 2000 the DHSRCSP was incorporated into the City's General Plan
- On January 29, 2002 Environmental Assessment No. 01-02 & TTM 30400 were approved by the Planning Commission
- On March 9, 2004 the Planning Commission Adopted Resolution No. PC 04-04, approving a 1-year extension to the expiration date of Tentative Map No. 30400

### **EXECUTIVE SUMMARY**

The Tuscan Hills Specific Plan SP02-16 is an amendment to the former Desert Hot Springs Resort Cornerstone Specific Plan (SP 1-90) and is located on the original

approved Desert Hot Springs Resort 515 acres site and will include an additional 40+ acres located in the northwestern side of the project and will total approximately 554

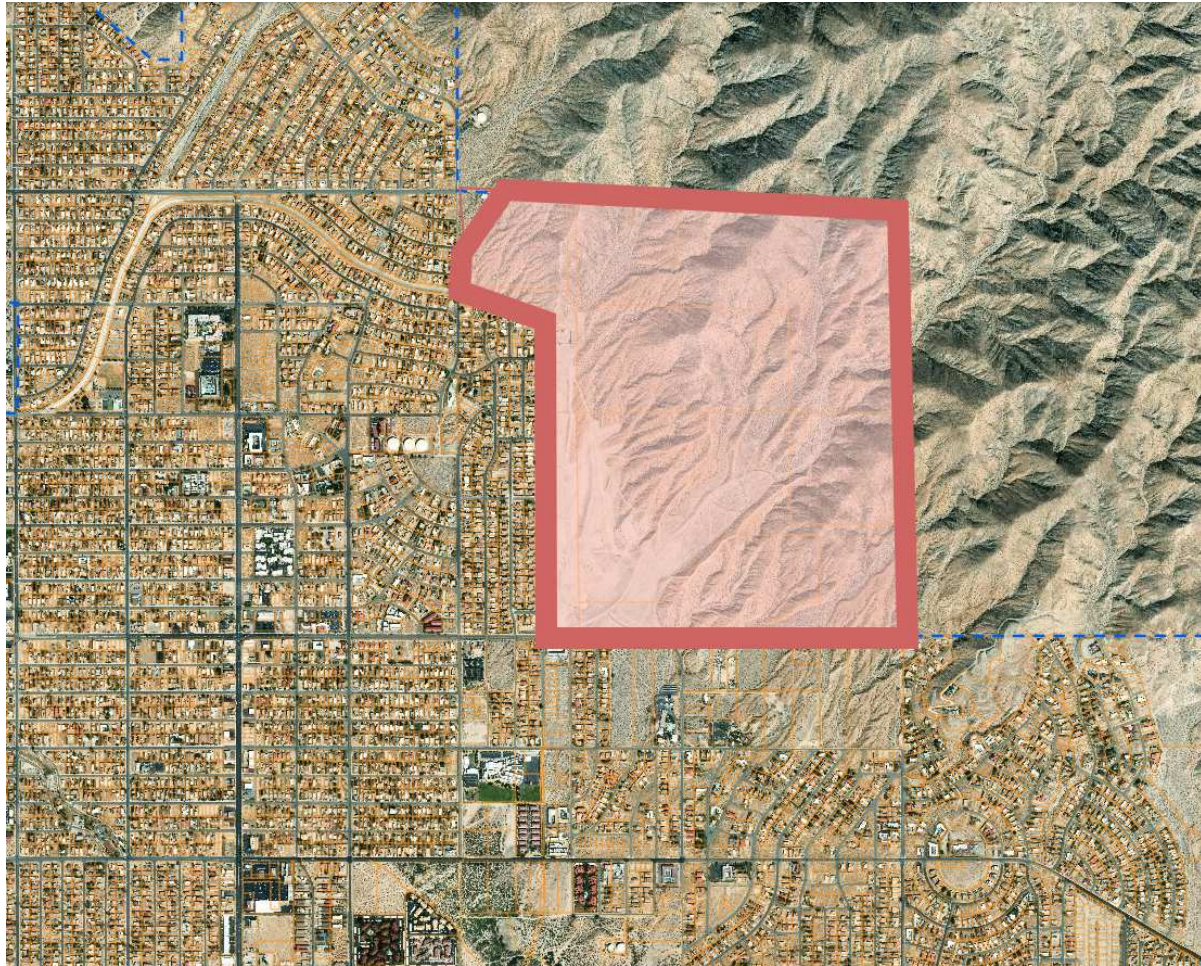


Figure 1

acres. The proposed community is generally bounded by Pierson Boulevard to the South, Foxdale Drive and Verbena Road to the west, and undeveloped land owned by BLM to the North and East.

The Tuscan Hills Specific Plan (THSP) will modify those land uses in the previous Desert Hot Springs Resort Cornerstone Specific Plan (DHSRCSP) and provide a mix of residential land, commercial, and open space uses. Single family homes, multifamily homes, commercial, and recreational facilities which are allowed within the General Plan designation and are also allowed within the Tuscan Hills Specific Plan. The approved Planning Areas, land uses, acreages and number of dwelling units associated with each Planning Area is shown on page 6 of the attached THSP (Exhibit No. 5). The main differences between the DHSRCSP and the THSP are:

- The addition of 40+ acres.
- Increase in undisturbed open space from 86.5 acres to approximately 174 acres.
- Reduction in density from 4.29 du/acres to 3.36 du/acre.
- The removal of the 164.5-acre golf course and club house.
- The removal of one hotel (used to be two hotels with up to 710 rooms, now one hotel with up to 334 rooms).

- Decrease in the number of housing units (from 2,212 units to 1,878 units)
- Removal of the commercial village (120,000 sq. ft. with 230 apartments/multi-family units).
- Reduction in water demand for the project (removal of golf course, replace with hiking trails, parks, etc.).
- On-site drainage system will be modified to bring up to current standards (larger storm water management systems).

### **Tuscan Hills Development Plan**

Tuscan Hills residents will enjoy various benefits of a master-planned community. Infrastructure and other public facilities will be sufficiently sized to accommodate the needs of the entire community at full build-out. This community includes a variety of neighborhoods nestled around a community center and open spaces that will provide a variation of family recreation activities for a master planned lifestyle. The natural hot springs found beneath the subsurface will be utilized for recreational and therapeutic purposes when guest and resident's alike visit the resort spa and hotel. Neighborhoods will be interconnected through an extensive open space framework that includes a system of trails for biking, jogging, and walking trails. Community theme walls, neighborhood entry monuments, similar architectural styles, and enhanced landscaping along major roads will add to the overall character of this gated community.

The Tuscan Hills project is a proposal to develop a 554+ acre project site within the eastern portion of Desert Hot Springs. The Tuscan Hills community will provide for the development of up to 1878 residential homes, utilizing the attached and detached residential units. Within the community there will be over 46 acres of private open space with recreational facilities walking trails, neighborhood parks, paseos, approximately 25 acres for regional drainage infrastructure improvements, and 14.5 acres with a high-end resort and hotel, and open space with a potential for hiking and biking trails, picnic and play areas.

The THSP's vision will be achieved through the incorporation of the following key design goals:

- Create a high-quality residential community that will take advantage of and integrate with the adjacent land uses.
- Provide a variety of housing opportunities designed to be marketable and accessible within the evolving, economically diverse profile of the City of Desert Hot Springs.
- Provide for pedestrian and bicycle mobility.
- Encourage neighborhood interaction by providing active and passive open space, gathering areas, and a network of paseos and sidewalks.
- Provide connectivity among neighborhoods and surrounding uses.
- Promote high quality architectural and landscape design.



- Implementation of a community-wide landscape concept that features drought-tolerant trees and plants which create an aesthetically pleasing, thematically coherent outdoor environment while minimizing demand for water resources.

## **BACKGROUND**

The Desert Hot Springs Municipal Code (“DHSMC”) provides for the adoption of Specific Plans and related actions, as follows:

- Chapter 17.128 provides for the approval of Specific Plans;
- Chapter 17.100 provides for the adoption of General Plan Amendments; and
- Chapter 17.88 provides for the adoption of Zoning Ordinance Amendments.

In addition, Title 16 (Subdivisions) of the Desert Hot Springs Municipal Code (DHSMC), allows the division of properties, subject to compliance with the California Subdivision Map Act (California Government Code Section 66410 et seq.) and approval tentative maps by the Planning Commission. The applicant, Walton Development & Management Southwest USA, has filed applications for a Specific Plan, General Plan Amendment, Zoning Ordinance Amendment to establish development regulations and guidelines for the site, and Tentative Tract Maps to subdivide the site.

The project site is located along the north side of Pierson Blvd, east of Foxdale Drive in the Residential Estates, High Density Residential, Commercial General, High Density Residential Visitor Serving, and Open Space Zoning Districts. The property is made up of twelve parcels with a combined gross area of approximately 554 acres. The main access will be on the southwest side of the project along Pierson Blvd. A portion of the site is proposed to be dedicated for permanent open space (40 acres).

**Table 1: Surrounding Land Uses:**

	<b>Zoning &amp; General Plan Designations</b>	<b>Current Land Use</b>
<b>North and East</b>	Open Space/Mountain Reserve (OS/MR)	Upper Mission Creek / Big Morongo Canyon Conservation (MSHCP)
<b>South</b>	Low Density Residential (RL) & Visitor Serving (V-S)	Single Family Residential Uses, a Motel/Hotel under renovation, & Vacant Land
<b>West</b>	Low Density Residential (RL) & Residential Estate (RE-10)	Single Family Residential Uses

## **PROJECT SUMMARY**

The proposed Tuscan Hills Specific Plan is a 1878 residential unit and 334 key hotel planned community on the north side of Pierson Boulevard approximately one-half mile east of Palm Drive. The plan proposes to amend the formerly approved Desert Hot Springs Resort Cornerstone Specific Plan (1991) and include an additional 40 acres on the northeast side of the project. The Tuscan Hills Specific Plan proposes to modify the the previously approved land uses and will provide a mix of single-family residential, multiple family residential, commercial, and open space uses. The design elements including land use compatibility, site design, architecture, and landscaping will assure a varied, but harmonious project.

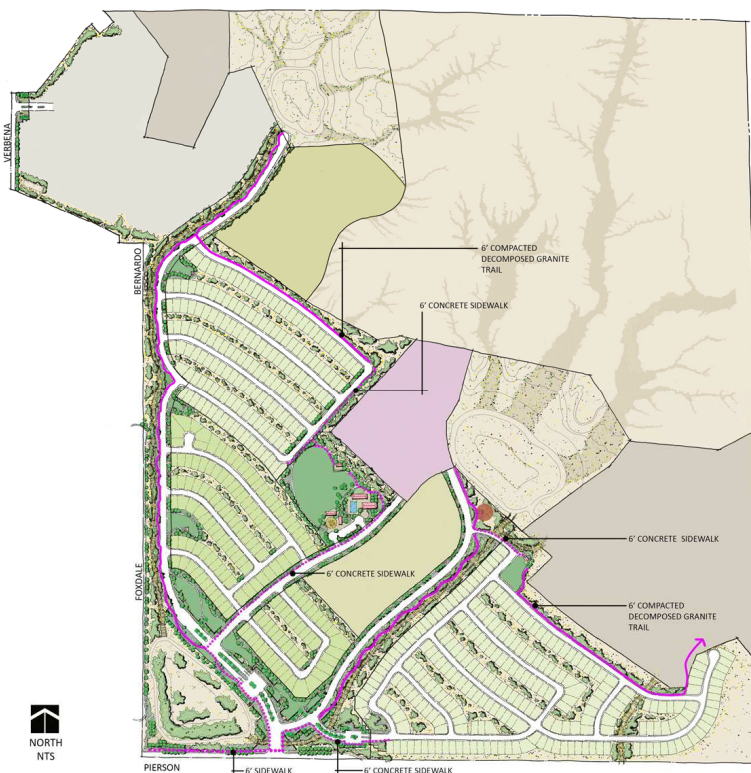
The project is described in the proposed Tuscan Hills Specific Plan as “a master-planned community... with a variety of neighborhoods nestled around a community center and open space that will provide a variety of family recreation activities. The natural hot springs found beneath the subsurface will be utilized for recreational and therapeutic purposes when guests and resident’s alike visit the resort spa and hotel”.

Figure 1 below shows the proposed site plan.

## **I. PROPOSED LAND USES / ESTABLISHMENT OF PLANNING AREAS**

Chapter Four of the proposed Specific Plan establishes the planning areas, as shown Figure 4.1. Since the General Plan Land Use and Zoning Map presently designates the land uses that were approved with the Desert Hot Springs Resort Cornerstone Specific Plan, amendments to the General Plan and Zoning Ordinance are necessary to incorporate these new planning areas into the City’s land use map, as well as establish appropriate zoning regulations and guidelines to fulfill the objectives of the Specific Plan.

The Specific Plan anticipates that the bulk of the project site will be designated open space (OS-PR, OS-F, OS, & OSU) totally approximately 271 acres of the overall 545 acres. Low Density & Very Low Density Residential will occupy approximately 179 acres, Medium Density Residential approximately 72 acres, and Commercial approximately 15 acres. The specific acreage of each land use designation and the proposed densities are outlined below.



**Figure 1 – Conceptual Site Plan**

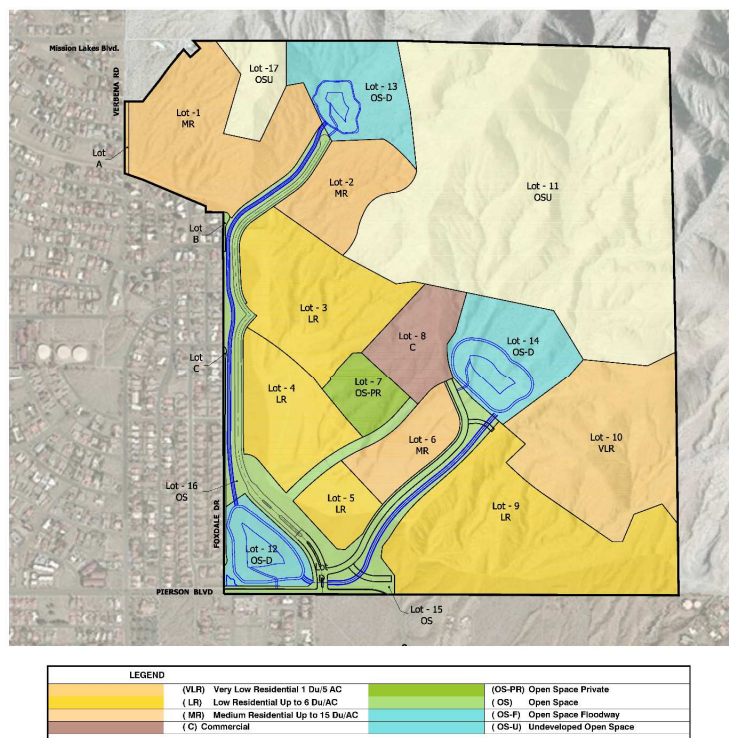
The table below show the projects allocation of acreage by land use. Staff would like to note that the combined open space is approximately 271 acres (with nearly 175 acres or 31.5 percent, set aside as raw, undeveloped space).

**Table 2: Acreage by Land Use**

PLANNING AREA LAND USE			ACREAGE	ROOMS ALLOWE D	TARGET DENSITY
	VLR	Very Low Residential	47.95		10
	LR	Low Residential	130.73		784
	MR	Medium Residential	72.25		1084
	C	Commercial	14.77	334	
	OS-PR	Open Space Private Recreation	8.72		
	OS-F	Open Space Floodway	58.85		
	OS	Open Space	28.66		
	OSU	Open Space Undeveloped	174.51		
		<b>TOTAL</b>	<b>554.86</b>	<b>334</b>	<b>1878</b>

**Figure 2 – Land Use Plan**

The following figure shows the boundaries of the proposed land uses by lot/planning area. Staff would like to note that the Planning Areas and lot numbers roughly correspond to one another with exception of Planning Area 11, which incorporates both lot 13 and lot 17.



Below is a table that describes the intent of each Planning Area and the associated land use designation(s).

**Table 3 - Description of Land Use by Planning Area**

Land Use Designation	Description of Land Use	Planning Area	Planning Area Size	Maximum Dwelling Units
Very Low Residential 1 DU/5 ac (VLR)	This land use provides an intermediate density between more typical residential densities and open space lands. It provides lots sufficient in size for rural and estate development.	Lot-10	47.95 ac	10
Low Residential Up to 6 du/ac (LR)	The intent of this designation is to encourage development of single-family detached residential, product in a planned environment.	lot-3	36.85 ac	221
		lot-4	23.02 ac	138
		lot-5	9.17 ac	55
Medium Residential Up to 15 du/ac (MR)	Allows a range of residential products including single-family attached or detached condominiums, townhomes, zero-lot-line configurations, and cluster developments. In addition, this category allows senior housing age-restricted multi-family communities designed to accommodate the special needs of seniors. It also allows for resort related village or seasonal/permanent residence.	lot-1, A	52.56 ac	626
		lot-2	17.82 ac	267
		Lot-6	13.05 ac	196
Commercial (C)	This designation allows for the development of hotels, condominium hotel rooms or timeshare hotel, seasonal villas that may become destination resort and spa that will capitalize on hot water resources.	Lot-8	14.77 ac	334 rooms

Open Space Private (OS-PR)	This designation is assigned, recreational buildings, pools, tennis courts, spas, tennis courts, active and passive parks and other recreational facilities.	OS-PR	8.72 ac	
Open Space (OS)	The OS areas are located along primary road corridors of the project. This designation is intended to include areas where pedestrian, bicycle trails and open monument structures and services are located.	Lots 15, 16, a,b,c	47.06	
Open Space Floodway (OS-F)	This designation is assigned to natural or manmade floodways/drainage channels.	Lots 12,13,14	58.85	
Undeveloped Open Space (OS-U)	The area shown as OS-U will be preserved as passive recreational uses such as hiking trails and picnic areas may occur this area, it is intended that the OS-U designation be preserved in its natural state as much as feasible.	11,17	174.51	

## **II. Permitted & Conditionally Permitted Uses**

Below are several tables that shows the uses which are permitted by right (P), with approval of a Development Permit (D), with approval of a Conditional Use Permit (C), with approval of a Home Occupation Permit (H), with approval of a Temporary Use Permit (T), and those uses which have been deemed to be Prohibited (X) in the respective Planning Area. All proposals would be required to submit to the Home Owners Association (HOA) for their approval, and then to the City for design/plot plan entitlements and building permits.

Staff recommends that uses which are listed as a "Permitted" use, be subject to issuance of City building permits. The building permit application would be routed to the Planning Department for review for conformance to the development and design standards of the Specific Plan & with the City's Zoning Code. Uses listed as requiring a "Development Permit" will be subject to either Director approval (administrative) or Planning Commission approval, with the decision on the final authority to be determined by the Community Development Director. Uses listed as Conditionally Permitted, would



require Planning Commission approval of a Conditional Use Permit. Use listed as permitted by “Home Occupation Permit” will be subject to Director review and approval (administrative). Use listed as permitted by Temporary Use Permit will be subject to Director review and approval (administrative). Uses listed as “Prohibited” will not be allowed.

**Table 4 – Residential Planning Areas - Permitted & Conditionally Permitted Uses:**

<b>Land Use</b>	<b>Very Low Residential</b>	<b>Low Residential</b>	<b>Medium Residential</b>	
Single-family detached homes with normal accessory structures, of a permanent character and in a permanent location.	D	D	D	
Attached single-family dwellings, including townhomes, stacked flats, motor courts, garden courts, walk-ups, and apartments.	X	X	D	
Accessory Dwelling Unit (ADU).	P	P	P*	
Seasonal Villas	X	X	D	
Home occupations as specified in in the City of Desert Hot Springs Municipal Code 17.108.030 Operating standards.	H	H	H	
Day care facilities within the residence of the licensee not exceeding six children in addition to children residing at the residence. (Small family).	P	P	P	
Residential care facilities for the elderly within the single-family residence of the licensee serving six (6) or fewer persons.	D	D	X	
Senior Citizen Congregate Care Housing.	X	D	D	
Accessory buildings and structures related to use. Swimming pool, spa, sport court, patios, patio covers, garden structures, storage sheds, greenhouse, walls.	P	P	P	

Temporary real estate office for lot sales. Temporary office must be located on the on the same tract lot sales occur. A use permit for maximum of 2 years with two 2-year extensions with approval of the planning director.	T	T	T	
Construction trailer during active construction only.	T	T	T	
Model complex.	T	T	T	
Detention basins, flood control facilities.	D	D	D	

\*As part of a Single-Family Residence

Staff has evaluated the table, above, that shows the proposed levels of review authority of uses for each Planning Area (permitted uses, proposed temporary uses & proposed conditionally permitted uses, etc.) that generally aligns with the R-E, R-L & R-M zones in the City's Zoning Code. The uses and proposed level or review authority corresponds to the City's standards. Staff has no recommended changes to this table.

**Table 5 – Commercial Planning Area - Permitted & Conditionally Permitted Uses:**

Land Use	Resort Hotel
Hotel	D
Condominium Hotel rooms or Timeshare Hotel, Seasonal Villas.	D
Spas and swimming pools.	D
Restaurants, bars, lounges, eating and drinking establishments.	D
Gym, Athletic facilities, health spa, massage therapy, mineral pools, and related use.	D
Retail Shops, Art galleries, Drug store, Convenience store, Gift shop, Theaters that directly support the primary use of a hotel or spa.	P
Meeting Halls or Conference Facilities and Banquet areas that directly support the primary use of a hotel or spa.	P
Child day care facilities,	P
Outdoor recreation facilities that directly support the primary use.	P
Parking structure and utility buildings that directly support the primary use.	D
Temporary real estate office for sales that directly support the primary use. Temporary office must be located on the on the same site sales occur. A use permit for maximum of 2 years with two 2-year extensions with approval of the planning director.	T

Construction trailer during active construction only.	T
Model complex.	T
Detention basins, flood control facilities.	D

The above chart shows permitted uses, temporary uses & conditionally permitted uses that generally match with those of the C-G, C-N, & C-C zones. The uses and proposed level or review authority corresponds to the City's standards. Staff has no recommended changes to this table.

**Table 6 - Private Community Recreation & Open Space  
Permitted and Conditionally Permitted Uses**

Land Use	Open Space Recreation
Health and fitness club, meeting halls, conference facilities.	D
Parks, play grounds, and outdoor recreation facilities.	P
Meeting area, banquet area, lounge, that directly support the primary use.	D
Racquetball courts, tennis courts, exercise and weight training, basketball, and pro-shop.	D
Swimming Pools, Thermal Water Pools and Whirlpool.	D
Structures and accessories such as gazebos, restrooms, maintenance buildings, and uses that directly support the primary use.	D
Construction trailer during active construction only.	T
Detention basins, flood control facilities.	D

Staff has evaluated the table, above, that show the proposed levels of review authority of uses for each Planning Area (permitted uses, proposed temporary uses & proposed conditionally permitted uses, etc.) that generally match the City's Zoning Code with those listed in the OS/MR, OS/PP, OS/PV, & OS/FW zones. The uses and proposed level or review authority corresponds to the City's standards. Staff has no recommended changes to this table.

## **II. PROPOSED DEVELOPMENT STANDARDS**

The table provided below outline the development standards for each Planning Area. Development standards, procedures or definitions that are not referenced in the tables shall be subject to the provisions of the Zoning Code.

**Table 7 - Development Standards for Very Low Residential**

Very Low Residential Up to 1.0 du/5 ac

This category provides for the development of the Estate Residential land use. The purpose of the residential standards is to establish the minimum criteria for the development of single-family dwellings within the Tuscan Hills Specific Plan.

Minimum Lot Dimension	
Lot Width	70' <sup>*3</sup>
Lot Width Corner	75' <sup>*3</sup>
Lot Width at Cul-De-Sac	55' <sup>*2</sup>
Lot Depth	120' <sup>*3</sup>

Building (Structure) Setback (Min.) (All setback measured from property line unless noted.)	
Front	20' <sup>*1</sup>
Garage Door	25' <sup>*1</sup>
Side Interior	10'
Side Street	15' <sup>*4</sup>
Rear	20' <sup>*4</sup>
Pool equipment rear and side yard	5'

Minimum Lots Size	21,000
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Building Height	35'
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Residential Building Coverage Under Roof	35%
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Parking Required	Number of Spaces
Enclosed Garage (Traditional Two Car Garage)	2

Roof mounted equipment is not allowed. Exception; Solar voltaic and water heating.
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Screen Walls or Fence
<ul style="list-style-type: none"> <li>Walls or fences types are shown on figure 10-16 page 10-28. See Section 10.10 for additional requirements.</li> <li>Screen walls are required on all side and rear yards. Side and rear screen walls shall be 6' high maximum.</li> <li>Screen walls located within the Building Front Yard Setback shall not exceed 3' in height.</li> <li>Screen walls located on side street yard shall be located 5 foot minimum from the property line. All screen walls located within the side street yard shall be constructed with masonry block. Exception; Walls located on the side or at the rear of a view lots can be wrought iron or a combination of masonry and wrought iron.</li> <li>A screen wall combined with retaining wall shall not exceed 8' in height measured from the lowest finish grade. Stepped walls are encouraged.</li> </ul>

\*1. Setbacks should be varied a minimum of 3' as noted in Chapter 6.3 of the THSP.

\*2. Minimum lot width at Cul-De-Sac is measured along the radial at the front set back.

\*3. Minimum lot width and depth will be measured at the midpoint of the lot.

\*4. Setback shall conform to Figure 5.4.



Staff has evaluated the proposed property development standards for the Very Low Residential Planning Area in comparison to the City's development standards for the City's Residential Estate (R-E) land use designation. The main differences are that the City's R-E destination has a much larger minimum lot size requirement (5 acres) in addition to the City's required setbacks (100 ft minimum - for the front, side and rear setbacks). The proposed Very Low Residential Planning Area is more aligned to the City's Residential Low (R-L) designation which is understandable due to the fact they the developer would get far fewer units on the project site with those more stringent requirements, and there would be greater diversion (and perhaps less cohesion) with the other residential lots/units in the development. The area in the City designated R-E zones were more likely set aside for larger ranch style estates that stand alone, and were never intended to be part of an overall master planned community. Therefore, a comparison to the R-L designation, which aligns with the proposed development standards, may be more appropriate for the THSP master planned community. Staff does not have any recommended changes to the proposed development standards for the Very Low Residential Planning Area.

**Table 8 - Development Standards for Low Density Residential**

Low-Density Development, Up to 6.0 du/ac

This category provides for the development of the Low-Density Residential land use. The purpose of the residential standards is to establish the minimum criteria for the development of detached single-family dwellings within the Tuscan Hills Specific Plan.

Minimum Lot Dimension	
Lot Width	50' <sup>*6</sup>
Lot Width Corner	55' <sup>*6, *8</sup>
Lot Width at Cul-De-Sac	50' <sup>*5</sup>
Lot Depth	90' <sup>*6</sup>

Building Setback (Min.) (All setback measured from property line unless noted.)	
• Front	15' <sup>*1, *2</sup>
• Garage Door	20' <sup>*1</sup>
• Covered Patio (front and rear)	10' <sup>*1</sup>
• Side Interior	5' <sup>*3,</sup>
• Side Street	10' <sup>*1, *3, *4, *7</sup>
• Rear	15' <sup>*1, *4, *7</sup>
• Pool equipment rear yard (no side yard)	5'

Building Height	35'
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Minimum Lot Size	4500 S.F.
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Residential Building Coverage Under Roof	65%
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Parking Required	Number of Spaces
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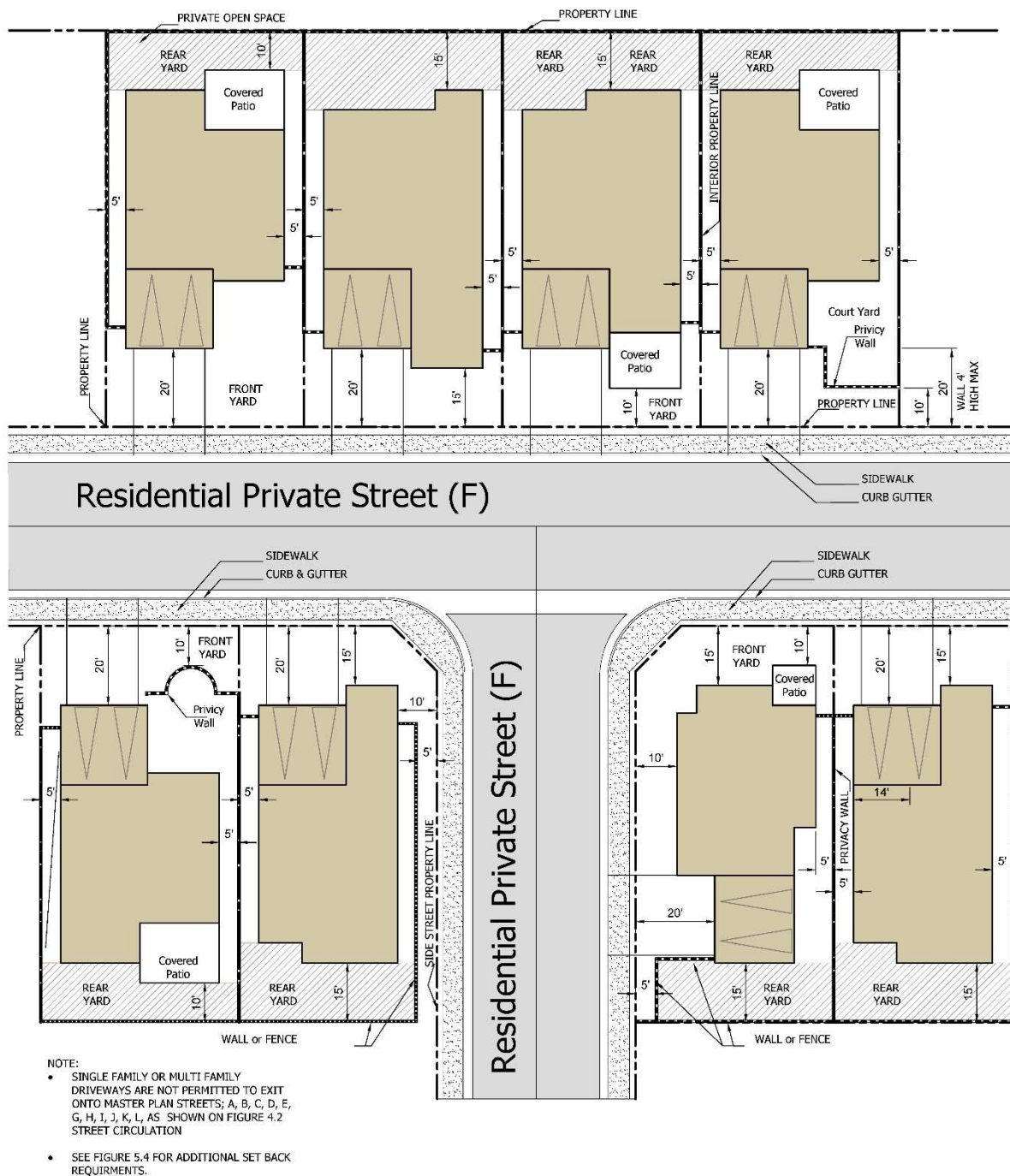
• Enclosed Garage (Traditional Two Car Garage)	2 *2
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<b>Wall or Fence (Screen Walls)</b>	
• Walls or fences types are shown on figure 10-16 page 10-28. See Section 10.10 for additional requirements.	
• A 6' high minimum wall or fence shall be provided along the rear and side property line.	
• Screen walls located within the Building Front Yard Setback shall not exceed 3' in height.	
• Screen walls located on side street yard shall be located 5 foot minimum from the property line. All screen walls located within the side yard shall be constructed with masonry block. Exception; Walls located on the side or at the rear of a view lots can be wrought iron or a combination of masonry and wrought iron.	
• Side and rear screen walls shall be 6' high maximum. A screen wall combined with retaining wall shall not exceed 8' in height measured from the lowest finish grade. Stepped walls are encouraged.	
<b>Roof mounted equipment is not allowed. Exception; Solar voltaic and water heating.</b>	

- \*1. Architectural enhancements and projections are allowed to encroach a minimum of 1 foot into the setback.
- \*2. Front setbacks should vary as noted in Chapter 6.3.
- \*3. Ground Mounted air conditioners, pool equipment, swamp coolers are prohibited from side/side yards.
- \*4. When siding on a street with a 5-foot min. paseo or open space, set back can be min. of 5' from property line.
- \*5. Minimum lot width at Cul-De-Sac is measured along the radial at the front set back.
- \*6. Minimum lot width and depth will be measured at the midpoint of the lot.
- \*7. Setback shall conform to Figure 5.4.
- \*8. A corner lot width can be 50' when adjacent to a paseo that is 10' wide or grater.

**OVER**

**Figure 3 - Typical Building Set Backs in Low Density Detached Residential**



Staff has evaluated the proposed property development standards for the Low Residential Planning Area in comparison to the City's development standards for the City's Residential Low Density (R-L) land use designation. The main differences are that the City's R-L designation provides for a little wider streetscape having 20-foot setbacks on either side of the street. The proposed 15-foot setbacks (with 10 feet for patio covers) will create a narrower streetscape/expanse, but this is not uncommon for master planned communities and staff is in support of those proposed setbacks. The lots sizes are also fairly narrow, but once again this is not uncommon for master

planned communities, and this may also help to provide more reasonably priced homes. This smaller lot size is also the reason that the THSP proposes a 65% building to lot coverage. These deviations are not uncommon though. Staff is in support of the standards set forth above and has no recommended changes as the developer will access market demand and type of units that are in demand.

**Table 5.I Development Standards for Medium Density Detached Residential**

Medium Density Detached Residential Up to 15.0 du/ac

This category provides for the development of the medium density residential land use. The purpose of the residential standards for medium density are to establish the minimum criteria for the development of single family detached condominium style enclaves up to 15.0 du/ac. Units within these planning areas cannot have a single-family residential driveway connecting to streets outside of the lot boundaries. The connection of neighborhood streets must meet the fire department requirements.

Areas designated Medium Density can be subdivided into smaller lots with detached single-family dwelling units.

Minimum Lot Dimension	
Lot Width	40' <sup>*5</sup>
Lot Width Corner	45' <sup>*5 *11</sup>
Lot Width at Cul-De-Sac	35' <sup>*4</sup>
Lot Depth	80' <sup>*5</sup>

Building Setback (Minimum) (All setback measured from property line unless noted.)	
• Front Neighborhood Street	10' <sup>*1, *2</sup>
• Front Court Street	10' <sup>*1, *2</sup>
• Side Interior	5' <sup>*1, *7</sup>
• Side Street	10' <sup>*1, *3, *5, *8</sup>
• Rear Property Line	10' <sup>*1, *8</sup>
• Garage Door on Neighborhood Street	20' <sup>*1</sup>
• Garage Door on Court Street	20' <sup>*1</sup>
• Covered Patio Front	10'
• Covered Patio Side and Rear	5'

Building Height	35'
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Minimum Lot Size	3500 S.F.
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Lot Coverage	
• Residential Building Coverage (under roof)	65%

Parking	
• Enclosed Garage (Traditional Two Car Garage)	2 <sup>*2</sup>
• Guest Parking	.25 Spaces per Unit



Minimum Private Open Space.	
• Private Open Space	250 S.F. <sup>*6</sup>
• Common usable active open space/unit.	50 SF <sup>*9, *10</sup>

Wall or Fence (Screen Wall)	
<ul style="list-style-type: none"> <li>Walls or fences types are shown on figure 10-16 page 10-28. See Section 10.10 for additional requirements.</li> </ul>	
<ul style="list-style-type: none"> <li>Screen wall shall be provided for all privacy spaces.</li> </ul>	
<ul style="list-style-type: none"> <li>Screen walls within the front yard setback shall not exceed 4' in height. Screen walls located within the front yard setback shall be located 10 feet minimum from the property line.</li> </ul>	
<ul style="list-style-type: none"> <li>A 6' high minimum wall or fence shall be provided along the rear and side property line.</li> </ul>	
<ul style="list-style-type: none"> <li>Screen walls located on side street yard shall be located 5 foot minimum from the property line. All screen walls located within the side street yard shall be constructed with masonry block. Exception; Walls located on the side or at the rear of a view lots can be wrought iron or a combination of masonry and wrought iron.</li> </ul>	
<ul style="list-style-type: none"> <li>Screen walls are required on all side and rear yards. Side and rear screen walls shall be 6' high maximum. A screen wall combined with retaining wall shall not exceed 8' in height measured from the lowest finish grade. Stepped walls are encouraged.</li> </ul>	
Roof mounted equipment is not allowed. Exception; Solar voltaic and water heating.	

- \*1. Architectural enhancements and projections are allowed to encroach a minimum of 1 foot into the setback.
- \*2. Front elevations exterior wall shall be varied as noted in Chapter 7.
- \*3. When siding on a street with a Paseo or open space set back may be 5' from property line.
- \*4. Minimum lot width at Cul-De-Sac is measured along the radial at the front set back.
- \*5. Minimum lot width and depth will be measured at the midpoint of the lot.
- \*6. Private open space shall have a 6' screen wall/fence when located on side and rear yards.
- \*7. Ground Mounted air conditioners, pool equipment, swamp coolers are prohibited from side/side yards.
- \*8. Setback shall conform to Figure 5.4.
- \*9. Amenities;  
Provide a minimum of 2 onsite amenity for the first 100 -300 units.  
Provide a minimum of 1 onsite additional amenity for 301 -400 units.  
Provide a minimum of 1 onsite additional amenity for 401 -600 units.
  - a. Amenities may include;
    - i. Tot lot.
    - ii. Tennis Courts.
    - iii. Volley Ball Courts.
    - iv. Basket Ball Courts.
    - v. Swimming Pools.
    - vi. Jacuzzi.
    - vii. Exercise Room.
    - viii. Exercise trail with a minimum of 4 outdoor exercise station.
    - ix. Game Room
- \*10. Common Open Space shall be continuous;
  - a. Minimum dimension of continuous usable open space shall be 75'.
  - b. Tennis Courts, Volley Ball Courts, Basket Ball Courts, Swimming Pools, Jacuzzi, Exercise Room, Game Room, can be included in the common open space requirement. Theses amenities may be included in the minimum dimension.
  - c. Slopes exceeding 5% cannot be included in the common open space.
  - d. Parking area and Drive isles cannot be included in the common open space
- \*11. A corner lot width can be 40' when adjacent to a paseo that is 10' wide or grater.

**Table 5.J Development Standards for Medium Density Attached Residential****Medium Density Attached Residential Up to 15.0 du/ac**

This category provides for the development of the medium density residential land use. The purpose of the residential standards for attached medium density are to establish the minimum criteria for the development of single family attached products to including conventional, duplexes, condominiums, townhomes, stacked flats, motor courts, garden courts, villas, walk-ups style developments up to 15.0 du/ac within the planning areas specified Tuscan Hills Specific Plan.

Areas designated as Medium Density cannot be sub divided into smaller lots with attached single-family dwelling units.

<b>Building Setback from Property Line (Minimum)</b>	
• One Story Building	10' <sup>*1,*2,*9</sup>
• Two Story Building	20' <sup>*1,*2,*9</sup>
• Three Story Building	25' <sup>*1,*2,*9</sup>
<b>Separation Distance Between Building Structures (Minimum)</b>	
• One Story Building	20' <sup>*1,*2</sup>
• Two Story Building	25' <sup>*1,*2</sup>
• Three Story Building	30' <sup>*1,*2</sup>
<b>Separation Distance Between Building and Accessory Structures (Minimum)</b>	
• One Story Building	10' <sup>*1,*2</sup>
• Two Story Building	15' <sup>*1,*2</sup>
• Three Story Building	20' <sup>*1,*2</sup>
<b>Building Height</b>	
	45'
<b>Minimum Lot Size</b>	
	435,600 S.F.
<b>Lot Coverage</b>	
• Residential building lot coverage (maximum)	65%
<b>Minimum open space located on the same site as the development.</b>	
• Private outdoor open space/unit (minimum) (balcony or patio)	250 SF <sup>*6</sup>
• Common usable active open space/unit.	50 SF <sup>*4,*8</sup>
<b>Parking</b>	
<b>Number of Spaces</b>	
• 1 bedroom or Studio	1 Space per Unit <sup>*3,*7</sup>
• 2 bedrooms	2 Spaces per Unit <sup>*3,*7</sup>
• 3+ bedroom	2.5 Spaces per Unit

	*3, *7
• Guest Parking	.25 Spaces per Unit
• Handicapped Parking	*5
Drive Aisle Width (Maximum)	25'

Minimum items included with each unit	
• Storage	150 SF
• Washer and Dryer Hook Ups	Each Unit

Wall or Fence (Screen Wall)	
• Walls or fences types are shown on figure 10-16 page 10-28. See Section 10.10 for additional requirements.	
• A 6' high minimum wall or fence shall be provided along the property line.	
• A screen wall combined with retaining wall shall not exceed 8' in height measured from the lowest finish grade. Stepped walls are encouraged.	

1. Patio or Decks are allowed to encroach a minimum of 1 foot into the minimum set back.
2. Architectural enhancements and projections are allowed to encroach a minim of 1 foot into the minimum setback.
3. At least one of the required spaces shall be covered parking.
4. Common Open Space shall be continuous.
  - a. Minimum dimension of continuous usable open space shall be 75'.
  - b. Tennis Courts, Volley Ball Courts, Basket Ball Courts, Swimming Pools, Jacuzzi, Exercise Room, Game Room, can be included in the common open space requirement. Theses amenities may be included in the minimum dimension.
  - c. Slopes exceeding 5% cannot be included in the common open space.
  - d. Parking and Drive isles cannot be included in the common open space
5. Handicapped parking shall be proved per California Building Code requirements.
6. 20% of the livable unit size or a minimum of 250 square feet.
7. Off street park shall be a minimum of 150' with assigned parking space.
8. Provide a minimum of 2 onsite amenity for 0 - 300 units.  
Provide a minimum of 1 additional amenity for 301 -400 units.  
Provide a minimum of 1 additional amenity for 401 -600 units.
  - a. Amenities may include;
    - i. Tot lot.
    - ii. Tennis Courts.
    - iii. Volley Ball Courts.
    - iv. Basket Ball Courts.
    - v. Swimming Pools.
    - vi. Jacuzzi.
    - vii. Exercise Room.
    - viii. Exercise trail with a minimum of 4 outdoor exercise station.
    - ix. Game/Meeting Room
9. Setback shall conform to Figure 5.4.

[illegible]

Staff has evaluated the proposed property development standards for the Low Residential Planning Area in comparison to the City's development standards for the City's Residential Medium Density (R-M) land use designation. The main differences are that the City's R-M designation provides for a wider streetscape having 20-foot setbacks on either side of the street. The proposed 10-foot setbacks and minimum of 40-foot lot widths create homes which are closer to each other and closer to the street, but staff believes the developer is creating a master planned community that offers a variety of housing types, and that will fill market demands. Staff does not have any recommend changes to the table above.



**Table 9 - Development Standards for Open Space Private Recreation**

This chapter sets forth the regulations for development of the Open Space Recreation within the Tuscan Hills Specific Plan.

Building Setback (Minimum)	
• Adjacent to Residential Uses	30' <sup>*3</sup>
• Adjacent to on site Open Spaces	20' <sup>*3</sup>
• Commercial Uses	15' <sup>*3</sup>
Separation Distance Between Buildings/Accessory Structures (Minimum)	
• Building at First Floor	15'
• Building at Second Floor	20'
Building Height	
Recreation Structure	35' <sup>*3</sup>
Parking Structure	35' <sup>*3</sup>
Lot Size	
• Building Lot Coverage (Maximum)	30%
Parking	
• 1 space for each 200 S.F of building or a minimum number of 30 parking spaces	200 SF (GUF) <sup>*1,*2</sup>

Notes for Table 5.K:

1. Handicapped parking shall be provided per California Building Code requirements.
2. See City of Desert Hot Springs Parking Standards
3. Setback shall conform to Figure 5.4.

The Planning Director shall have the authority to vary from the standards in this table for uses which represent special circumstances or for legal nonconforming uses.

Staff has evaluated the table, above, that shows the development standards within the Open Space Planning Areas against the Open Space development standards in the City's Zoning Code and determined that the master planned community does not have the vast open space that exist elsewhere in the city and hence staff has determined that the proposed development standards (setbacks) are congruous to the overall planned community and the best use of the property. Staff has no recommend changes to the above table.

**Table 10 - Development Standards for Commercial**

**Commercial**

This chapter sets forth the regulations for development of the Commercial area within the Tuscan Hills Specific Plan. These standards also apply to the planning areas designated as Resort Hotel, Resort Spas and ancillary structures.

Building Setback from Property Line (Minimum)	
Adjacent to Residential Uses	30' <sup>*5</sup>
Adjacent to Open Spaces	20' <sup>*5</sup>

Building Separation	
One Story Building	15'
Two Story Building	20'
Three Story Building and Greater	30'

Building Height	
Hotel	80' <sup>*2,</sup>
Condominium Hotel, Timeshare; if separate from main hotel structure	35' <sup>*2</sup>
Parking Structure	40' <sup>*2</sup>

Lot Size	
Building Lot Coverage (Maximum)	50%

Parking	Number of Spaces
Hotel	1.1 Space per bedroom
Restaurant/Lounge	1 per 100 SF (GUF)
Meeting area/Banquet room	1 per 50 SF (GUF)
Spa	1 per each 200 SF (GUF)
Condominium hotel rooms or Timeshare hotel uses or Seasonal villas.	1 Space per bedroom
Commercial	<sup>*3</sup>
Handicapped	<sup>*4</sup>

Wall or Fence (Screen Wall)	
Walls or fences types are shown on figure 10-16 page 10-28. See Section 10.10 for additional requirements.	
A 6' high minimum wall or fence shall be provided along the property line.	
Screen walls shall be 6' high maximum. Screen walls combined with retaining wall shall not exceed 8' in height. Stepped walls are encouraged.	

Notes for Table 5.L:

1. Gross Usable Floor Area (GUF)

2. The maximum building height is determined by measuring from the highest elevation point of the finish grade with in five feet of the structure's exterior walls to the highest ridgeline of the structure. This excludes architectural projections and similar features.
3. See City of Desert Hot Springs Parking Standards
4. Handicapped parking shall be proved per California Building Code requirements.
5. Setback shall conform to Figure 5.4.
- 6.

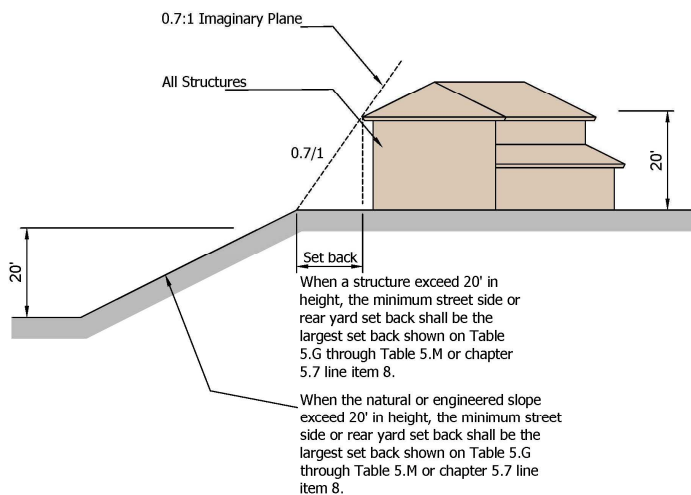
#### Gross Usable Floor Area

Definition: The sum of all area on all floors of a building either assigned to, or available for assignment to, a usable space that can be occupied, or necessary for the general operation of a specific use.

The Planning Director shall have the authority to vary from the standards in this table for uses which represent special circumstances or for legal nonconforming uses.

Staff has evaluated the table, above, that shows the development standards within the Commercial Planning Area against the C-G, C-C, & C-N development standards in the City's Zoning Code and determined that most of the standards are very similar. The proposed Commercial development standards does allow for development relatively close to parks and open space, but this is a master planned community with limited space. The development standards also allow for development of an 80-foot-high resort hotel, which again is part of the master planned community, will help generate TOT revenue for the city, provide a spa with access to the hot mineral waters, a conference facility for events, and parks, clubhouse, restaurant, etc. for the community. Staff does not have any recommended changes to this above table.

### Building Setback Adjacent to Slopes



### Hillside Development Standards

Areas where slopes exceed 25% in their natural state and are within 100 feet any area disturbed by grading in the development and/or improvements of the Tuscan Hills Project will provide the following:

- A soils investigation conducted by a licensed soils engineer has determined the subject slope area to be stable and grading and development impacts mitigatable for at least 75 years, or life of structures, and/or cut and fill slopes.

- No development shall be permitted except pursuant to submittal of a runoff control plan prepared by a licensed engineer qualified in hydrology and hydraulics; such approved plans shall assure that there would be no increase in peak runoff rate from the developed site over
- the greatest discharge expected from the existing undeveloped site as a result of storm event criteria specified by the City Engineer. Runoff control shall be accomplished by a variety of measures, including, but not limited to, onsite catchment basins, detention basins, siltation traps, and energy dissipaters, and shall not be concentrated in one area.
- Required Drainage or Erosion Control Facility Maintenance Arrangements: Development approvals shall include detailed maintenance arrangements for providing the on-going repair and maintenance for all approved drainage or erosion-control facilities.
- Installation and timing of permanent or temporary runoff and Erosion Control Devices: All run-off control and erosion-control devices shall be developed and installed prior to or concurrent with any onsite grading activities.
- Requirement Open Space on Undeveloped Slopes: All undevelopable slopes shall be placed in open space easements, HOA with deed restrictions, or granted to an appropriate entity as a condition of development approval.
- Grading Contour grading creates manufactured slopes in a rounded, undulating pattern that blend into and mimic the surrounding natural hillside. The emphasis of the contour grading standard is to create contour graded slopes in areas where they would be visible (i.e., along Circulation Element roadways, collector streets and useable open space areas).
- The screening of manufactured slopes is of considerable importance. Landscape figures on 10-26 illustrate the use of a variety of landscape materials to soften the appearance of the manufactured slope. Another way to accomplish this includes using a building as a way to provide the required screening.
- Buildings which are proposed for development on hilltops and on pads that are created on hillsides should be sufficiently setback from the downhill slope to mitigate the visual impact of vertical building forms on hillside landforms. Measurements which will be incorporated into project design to achieve this objective include the use of adequate slope edge building setbacks and multi-level roof planes which parallel the downhill slope. All buildings that are developed on hilltops or upon pads created on downhill perimeter slopes (slopes greater than 20 feet in height) shall be setback so that the building does not intrude into a .7 foot horizontal to 1-foot vertical imaginary diagonal plane that is measured from the edge of slope to the building. All building over 20' in height shall be set back so that the building does not intrude into a .7 foot horizontal to 1-foot vertical imaginary diagonal plane that is measured from the edge of slope to the building as shown in figure

- Roadway design can have a pronounced impact on hillsides. Hillside sensitive roadways do not greatly alter the physical and visual character of a hillside by creating large notches in ridgelines or by defining wide, straight alignments. Instead, hillside sensitive roadways follow
- natural hillside landforms. This approach is both cost effective and aesthetically pleasing by eliminating the need for extensive grading. The Hillside Development Regulations recognize that Circulation Element Roadways have specific design standards that when in conflict supersede the Hillside Development Standards. Circulation Element Roadway Design Standards ensure public safety on these higher volume and speed roadways. Collector streets are similarly exempted from Hillside Development Standards in that their design is frequently determined by the alignment and grade of the intersecting Circulation Element Road. However, low volume internal roadways can readily comply with the Hillside Development Standards without impacting public safety. In some instances, the City's Public Works design standards allow appropriate design flexibility to address a hillside condition.
- Hillside development should to the extent possible utilize and enhance natural hillside drainage networks. Drainage benches on slopes must vary in width to allow augmented landscaping to provide additional screening. Contour grading, hillside drainage and landscaping can many times be combined to "recreate" a heavy landscaped hillside ravine.
- All grading plans will be approved by the City Engineer.

### **Site Design & Architectural Design Guidelines**

A detailed outline of the site design guidelines & architectural design guidelines for each Planning Area can be found in Sections 6 thru 9 of the attached Tuscan Hills Specific Plan document. There is also a detailed section on Landscape Guidelines in Section 10, which shows renderings of the community walls, gates, signage, trail shelters, community park benches, and below is a conceptual site plan of the community park which includes a pool, pool house, playground, picnic ramadas, community stage, and grass area for recreation. Below are a few renderings that show some of the common area features.

Design guidelines within the Specific Plan (Chapters 6 thru 9) establish the intentions for building architecture and site landscaping within each planning area. The residential Planning Areas feature a variety of architectural styles such as, but not limited to, Monterey Colonial, Italian Renaissance, Spanish Colonial, American Craftsman, and Mediterranean Revival styles focusing on human scale details that will enhance the pedestrian friendly character of the neighborhoods. Detail elements may include the use of front porches, enhanced entries, a mix of materials and textures, and authentic detailing on features such as columns, balconies, windows, doors, shutters, flower





boxes, and lighting. Furthermore, a variety of garage designs will be utilized in order to de-emphasize the visual impact of garage doors on the street scene. Such techniques may include varying garage setbacks, turn in garages, side garages on corner lots, split garages, or other similar devices that de-emphasize the view of garage doors from the street. Together, such design features enliven the street scene and promote the friendly interaction of neighbors.



Chapters 6-9 (Guidelines) continues, addressing roof, window, architectural design and color, and landscaping establish both appearance and functionality within the desert climate and at the base of the foothills. Staff would also like to note that the design guidelines would be used to evaluate future site development and construction under the City's Development Permit authority.

### **Proposed Hotel & Spa**

The project proposes a large-scale, visitor-serving hotel complex, seasonal villas, a conference facility, ancillary retail, health spa, a fitness center, and supporting resort uses. Other buildings include the open space park clubhouse and recreation buildings, and a senior citizen congregate care housing facility. The development of this portion of the project focuses on providing easy access, ample parking, and services pertinent the needs found in a private resort community.



The project proposes to build the 334-room hotel & spa (max height of 80 ft) in the first phase of development. A parking structure is proposed adjacent to the hotel and will have a maximum height of 40 feet. The hotel will provide a restaurant for hotels guests, visitors, and residents, and will have a banquet room for meetings, conferences, etc. The applicant/developer has also indicated the possibility of developing a separate hotel condominium or timeshare facility next to the hotel.



### **Hotel Occupancy**

The applicant has indicated that they anticipate that the hotel will experience seasonal occupancy fluctuations, Fall and Winter months they expect an average occupancy of 85-95%, while summer and spring they believe should see a dip of 15% in occupancy and 30% dip in room rates.

### **Hotel & Spa Employment**

The applicant has indicated that a more accurate number will be determined by a future hotel management company and based on the programming they design for the hotel. Typically, employee to guest room ration is 1-4 for a boutique hotel, however we envision this property to have multiple healing programs that will add specialty staff that will increase the employee count.

### **DEVELOPMENT OF THE SITE / MASTER PLAN**

Staff would like to note that all development plans presented in the Specific Plan, including phasing plans, building and circulation layouts, landscaping and related on-site improvements (utilities, grading and drainage) are identified as “conceptual”; the actual physical development of the property may be different from that shown in the Specific Plan. However, the plan provides extensive design and development guidelines for use in evaluating development proposals to assure that actual construction fulfills the objective of a high-quality project.

### **Project Access & Circulation**

The Master Circulation Plan, as depicted in Figure 4.2 (of the THSP), is designed to provide optimal circulation efficiency as well as safety for guests and residents. The design approach recognizes that the circulation system serves as visual corridors and creates the basis upon which the image of the community will be largely viewed. The project proposes the implementation of landscaped parkways, paseo's and medians to enhance the overall image of the Tuscan Hills Development, as discussed in Chapter 10 of this specific plan document.

The project will have three access points. The primary entrance will be from Pierson Boulevard the secondary entrance will be from Verbena Drive. An emergency vehicle only entrance will be located off of Bernardo Way. The community provides an opportunity be gated. If gated, one would be located north of Pierson Boulevard a second from Verbena Road and the third from a public street located within the development off the of road leading to the commercial site. The commercial site will have access on a public road from Pierson Boulevard.

The project is being conditioned (Condition No. 123) to implement the recommendations of the Traffic Impact Analysis (Revised) that was prepared by Kunzman Associates, Inc. dated November 3, 2015 and more particularly the developer shall participate in the phased construction of off-site traffic signals through payment of traffic signal mitigation fees. The traffic signals within the study area at buildout will specifically include an interconnect of the traffic signals to function in a coordinated system. As is the case for any roadway design, the City will periodically review traffic operations in the vicinity of the project once the project is constructed to assure that the traffic operations are satisfactory.

Staff does have concerns that the impacts at buildout of the project (with 1868

residential units and a 334-room hotel with conference facilities and events being probable that impacts to local traffic will be substantial. Traffic exiting and going down Pierson Blvd to the west will only have one left-turn lane for movement onto Palm Drive southbound. And traffic going east on Pierson will be routed southbound onto the single lane road (Miracle Hill) which proceeds to a four-way stop at Hacienda Avenue. Staff has concerns about everyday morning traffic (residents going to work), traffic generated at the beginning and end of conferences or events (in the banquet facilities), and traffic when the hotel is at capacity for an event down valley (i.e. Coachella). Those impacts to our local roadways could be substantial. Therefore, staff has added a condition (Condition No. 6) that the applicant/developer work with City staff, the City Engineer and the City Council on determining those impacts and creating a fair-share agreement/improvement program, for improvements deemed necessary in the future (as determined by the City's Planning & Engineering Departments as well as the City Council).

The project is also being conditioned to construct improvements including an ultimate right-of way for Pierson and will construct a 100-foot-wide access road at the main entrance. The local collector road up to the hotel/spa is required to construct a 60-foot-wide street. Three private drive gates are proposed at the entrance to both housing developments on either side of the main entry and a third at Verbena. Additional on-site and off-site improvements (street, curb, gutter, sidewalks, landscape & trails, street lights, etc. will be required as outlined in the attached Conditions of Approval (Exhibit No 2). More information and details on the proposed public & private streets, road construction, street widths, etc. are provided in Chapter 4.2 of the attached THSP

### **Storm Water Drainage**

The Tuscan Hills Specific Plan is actually projected to improve the local and current regional drainage issues and the proposed local onsite storm water drainage issues in a combined effort to reduce downstream flows. The majority of the runoff will be produced in the northeast portion of the site (along the foothills) and will flow generally southwest across the site. Fortunately, there are three existing detention basins that were constructed in 2006 and modified in 2010. The three facilities were designed to provide hydraulic conveyance and interception of a 100-year storm event. Additional improvements such as overflow channels and lateral storm drains in the residential areas may be required by Riverside County Flood Control once the project receives the updated 2019 entitlements. For more details and a map, please refer to Figure 4.7 in the attached THSP.

### **Potable Water**

The housing development and hotel/spa will be served by the Mission Springs Water District (MSWD). Precise alignments and sizing of water facilities shall be determined prior to final engineering and construction in accordance with the Mission Springs Water District and City standards. The pressure will be adequate to provide service to the proposed 1868 homes as well as the proposed hotel/spa and will be required to have minimum flow rates to meet Riverside County Fire Departments requirements. The removal of the golf course from the original project will greatly reduce the water demand for the project and installation of drought-tolerant landscaping will further to make the project a more desert friendly development.

## Sewer Water

The site will be serviced by the MSWD, Horton Treatment Plant located off Verbena Road, south of Two Bunch Palms Trail. The conceptual plans show 8-inch sewer throughout the development which flow southwest and will tie into the existing (MSWD) 8-inch line running under Pierson Blvd. Staff has some concerns about the capacity of these lines and has added a Condition of Approval that prior to recordation of the Final Tract Map the developer will work the MSWD and the City Engineer on final plans for the future sewer system.

## Project Phasing

Phasing for the Tuscan Hills Specific Plan project will be clearly established with the review of each tentative tract map for the project. The applicant has indicated the “establishing phasing at the Project’s Specific Plan stage for such a large project is virtually impossible considering the ever-changing market demands.” That being said, Figure 7 (below) provides an anticipated phasing for the rough grading of the project. As each phase of grading is complete the market will then dictate the housing development within those grading phasing limits. All on-site and off-site infrastructure structure will be developed as required to meet the needs and requirements of the perspective development. Perimeter offsite improvements will be installed concurrent with any development in the respective phase with the exception of the construction of the storm water basins where no offsite improvements will be completed at the time of construction. The phasing plan indicates that the grading for the main entrance, and hotel will be the first phase, followed by the grading for the commercial area, the community park, and about half of the single-family homes. The last portions to get graded are the most challenging areas of the project site that will require substantial amounts of cut & fill the level and tier the site.

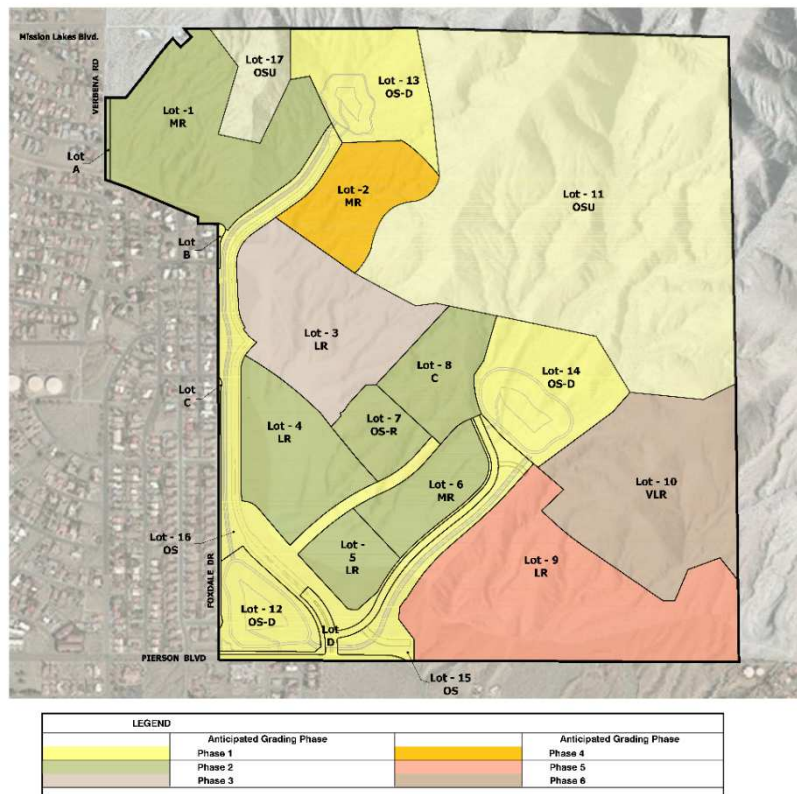


Figure 7. Proposed Grading Phase Plan

## **Security**

Because security will be of primary importance to Tuscan Hills residents, the community will be walled, and a gated access system will be constructed at all project entrances to the private residential areas. A security gate will be provided at the main entry gate at Pierson Blvd and a second gated entrance located off Verbena Rd. The Police and Fire Departments will have immediate access to all access gates.

## **Common Areas**

The development proposes to interlink the neighborhoods through a series of walking, jogging, & biking trails. Community theme walls, neighborhood entry monuments, similar architectural styles and enhanced landscaping will be provided along major roads to improve the overall character of the gated community. The project also proposes open spaces and parks for future construction of future recreation facilities.

## **Community Facility and Open Space**

Generally, all public facilities such as landscape areas, parks, parkways and trails located will be funded and perpetually maintained through the creation of a special assessment district and/or other similar type districts. Land belonging to other private, public and quasi-public agencies will be maintained by those entities. Parkway and landscape areas may be offered for dedication once all the improvements have been installed and accepted by the City of Desert Hot Springs prior to the recordation of any parcel or final map dividing land contained within the Tuscan Hills Specific Plan.

## **Conditions, Covenants and Restrictions (CC&R's)**

The Tuscan Hills Specific Plan community will implement the CC&R's and have them recorded with the County of Riverside. These CC&R's will be reviewed by City staff and the City Attorney, and will address all residential and common open space areas to be maintained by the HOA.

## **Homeowners' Association (HOA)**

The common areas and street system within the perimeter walls of the private residential areas will be deeded to a Tuscan Hills Association for administration, operation and maintenance. Generally, all private facilities such as recreation buildings, trail head shelters, community signs, landscape areas, parks, parkways and trails will be funded and perpetually maintained through the creation of a Home Owners Association.

The homeowners' association will also administer and enforce the CC&R's that will include design review and approval of all architectural changes and front and backyard landscaping, as well as building additions and pools constructed after initial occupancy of the houses. City staff will ensure that any future development/construction has been reviewed and approval by the HOA prior to issuance of any future entitlements and/or building permits.

## **Completion of Common Open Space Community Facilities and Street Landscaping Improvements**

Common open space, community facilities and streetscape landscaping improvements will be provided according to the following schedule:

- **Detention Basins:** The detention basin landscaping shall be completed at the time the adjacent roads improvements are completed or as deemed necessary by the City Planning Director.
- **Streetscape and Paseo Landscaping:** The roadside paseo, walking paths, irrigation, and drought tolerant landscaping shall be completed within 90 days of the completion of each roadway as determined by the City Engineer.
- **Planning Area Open Space and Pathways:** The adjacent open space, including pathways for each individual tract shall be installed prior to issuance of 50 percent of the residential permits for each planning area.
- **Private Recreation Building and Park:** The recreation building and park shall be completed within 18 months of the issuance of the two hundred and fiftieth residential permit within the Tuscan Hills Specific Plan. The City of Desert Hot Springs Planning Department must review and approve the design plans, materials, and construction process.

**Grading:** A number of lots with sloping rear yards are proposed for the project. Their disturbance and introduction of large retaining walls by future property owners is a potential concern. Staff recommends two (2) conditions to address such situations. The first is that all grading activities within the sloped areas of all lots minimize the disturbance and maximize the conservation and preservation of native plant materials. Graded areas shall receive a naturalized treatment (if necessary) including the re-establishment of native vegetation as required to create a natural appearing terrain. The second condition of approval is that language be included within the Covenants, Conditions and Restrictions (CC&R's) requiring homeowners to obtain approval from the Home Owners Association (HOA) and the City for any future retaining walls or development into any sloped areas within rear yard of single-family lots. Associated site plans, wall elevations and engineering calculations shall be provided for review by the HOA and City of Desert Hot Springs.

**Maintenance:** The maintenance of parks, landscaped open space areas, drainage channels, front yard street trees, signage and pedestrian paths, shall be administered by the Home Owners Association (HOA) as described in the CC&R's for the project. The commercial areas and public roads are separate, and will be maintained by a different entity.

**Fire Services:** The Riverside County Fire Department has reviewed the project for service need and has determined that project would be serviced by Station 37. Station 37 houses only one engine 24/7. County Fire has indicated that due to the size of the development they would likely be required to provide additional resources in the form of equipment, staffing and/or facilities. Staff has added a condition that prior to recordation of the final map the developer shall work with Riverside County on plan that will adequately service the devolvment

**Schools.** The THSP is within the Palm Springs Unified School District. The developer has not indicated a need for any additional school falsities on-site but staff has added a condition that prior to recordation of the final map the developer work with City staff and

the Palm Springs Water District to determine if the project will be required to provide additional facilities, or resources before construction begin.

### **Landscaping:**

The conceptual landscape plan provided with the SP application shows planted areas around the perimeter of the site, along all roadways, enhanced landscaping and the entry, gate entries, along park boundaries, etc.

The plan palette consists of relatively extensive list of trees, shrubs, ground covers and ground accents. The list can be found in Chapter 10 of the THSP. The plan also includes four types of groupings for the common area plantings. They are as follows:

- **Desert Revegetation Plant Group**  
This group consists of plantings for areas along slopes and includes native desert trees, native shrubs and native desert seed mix
- **Streetscape Plant Group**  
This group consists of plantings for the streetscapes and includes a mixture of native and non-native trees, masses of lush/greener shrubs and groundcovers
- **Park Planting Group**  
This group consists of planting in and around the park areas and includes non-native trees, and masses of lush/green shrubs and groundcovers
- **Focal Area Planting Group**  
This group consists of plantings at focal points such as street entry's, access points, prominent corners, etc. and will utilize various types of trees and shrubs selected for tight planning, color, and form

### **Lighting**

Existing exterior lighting has not been provided but will be a submittal requirement prior to development entitlements of the site.

### **Specific Plan Implementation**

Adoption of the Specific Plan will establish certain implementation regulations which include "Design Guidelines" (Chapters 6 thru 9) and "Plan Administration" (Chapter one). Development of the site will be reviewed under the provisions of these chapters, some of which will be incorporated into the new zoning designation. In general, all future development will be subject to review against the Specific Plan Design Guidelines, typically through the Development Permit approval. The Plan also establishes the Planning Commission as the reviewing authority for certain Development Permits and for Conditional Use Permits. Staff believes that this is an appropriate review process as it will assure that future construction will fulfill the goals, objectives and guidelines of the Specific Plan.

### **Future Entitlements**

The Applicant/Developer will need to submit final architectural, landscape, site design, lighting, and wall details with a formal Development and Design Review Permits at a later date.



## **GENERAL PLAN CONFORMANCE**

The City of Desert Hot Springs General Plan outlines a series of goals, policies and objectives for future development within the City. This Section describes how The Tuscan Hills Specific Plan compliments, reinforces and promotes these goals, policies and objectives.

### **Land Use Element**

#### *Policy 2*

*The City Zoning Ordinance shall directly correspond to the General Plan land use designations and shall include appropriate zoning regulations that implement the Land Use Element.*

#### *Policy 5*

*The City shall assign Specific Plan overlay designations to land located in the City's incorporated limits and Sphere-of-Influence to guide and assure an effective and integrated mix of commercial, office, industrial and residential uses.*

#### *Policy 6*

*All land use development proposals shall be consistent with all applicable land use policies and standards contained in the General Plan.*

### **Specific Plan Response**

- The City of Desert Hot Springs General Plan currently shows the proposed Tuscan Hills Specific Plan development as being R-E-10 (Residential Estate), R-H (Residential High), R/VS-H (Residential Visitor Serving High Density), C-G (General Commercial), OS/PV (Private Open Space). The Adjacent land has a designation of R-L (Residential Low), V-S (Visitor Serving), OS-MR (Open Space Mountain Reserve). The property is within the City of Desert Hot Springs as shown on Figure 3.1 of this specific plan. The property adjacent to the north and east are outside of the City limits.
- This Specific Plan continues to collaborate with adjacent Cities, the County of Riverside and adjacent property owners.
- The Specific Plan includes land use and development regulations, design standards and implementation procedures to enable development of a high quality and distinctive community that incorporates community design features not typically provided in traditional development.
- This Specific Plan is developed in conformance with the policies of the City of Desert Hot Springs General Plan and the State of California Government Code as described in Section I. This Plan provides all regulations and standards required for implementation of each element of the General Plan.
- Integration by providing an open space buffer to protect adjacent resource conservation areas, ensure compatibility by providing similar building pads, vehicular and pedestrian circulation, as well as a fiscal housing products that will blend in with the adjacent community.

### **Circulation Element**

#### *Policy 7*

*Develop and encourage the use of continuous and convenient bicycle routes and multi-use trails to places of employment, shopping centers, schools, and other high activity areas with potential for increased bicycle use.*

***Policy 8***

*Coordinate with the Riverside County Flood Control District and its consultants to assure the provision of all-weather crossings along critical roadways.*

***Policy 9***

*Facilitate the design and installation of a community locational/directional signage program to efficiently direct traffic to high use public buildings, parks, and other facilities.*

***Policy 11***

*Streets within planned residential areas shall be installed and maintained as private streets, and shall be developed in accordance with development standards set forth in the Zoning Ordinance and other applicable standards and guidelines.*

**Specific Plan Response**

- In addition, an extensive network of pedestrian and off-street bicycle trails have been incorporated into the Specific Plan. These trails will reduce reliance on the automobile, reduce emissions, and provide safe and convenient ways for both adults and children to access the various neighborhoods and open space areas within the Plan.
- All roadway Crossings within the Tuscan Hills community will be all weather crossings.
- The Tuscan Hills project will incorporate a uniform signage program for the community and public roads.
- Tuscan Hills circulation system has been carefully planned to address both on- and off-site circulation requirements. The layout of the backbone circulation system provides direct, safe, and convenient access to and within the community. Emergency access will be maintained at all times. The circulation plan also reinforces the goal of creating a pedestrian-friendly environment by providing a comprehensive system of sidewalks and multipurpose trails.
- A traffic Study has been prepared Tuscan Hills Traffic that outlines the improvements required to mitigate impacts generated from the development of the Tuscan Hills Community to keep the Tuscan Hills development in compliance with the goals in the City's General Plan.

**Housing Element**

***Policy 1***

*The General Plan shall provide for a mixture of residential densities dispersed throughout the City.*

***Policy 1C***

*The City shall encourage the development of larger unit sizes in multifamily rental projects and second units on single family lots in order to alleviate overcrowding.*

*Program 1C.1: The City shall encourage multi-family rental and owner-occupied projects which construct three and four-bedroom units as substantial portion of the overall development.*

**Policy 4.A**

*The City shall encourage the preservation of the home town atmosphere through design standards, pedestrian and public transit access.*

*Program 4A.2: Residential projects shall be required to provide bicycle and pedestrian facilities, including trails, sidewalks, benches and open space areas wherever appropriate.*

**Specific Plan Response**

- Two goals of the Tuscan Hill Specific Plan directly relate to housing: to provide a range of housing to meet the needs of a variety of economic segments and to create traditional residential neighborhoods.
- The Tuscan Hills Plan fulfills these needs by providing a variety of housing types, densities and prices open to all individuals in a cohesively designed master planned setting. In addition, the Tuscan Hills plan allows for development of affordable senior housing.
- The Tuscan Hills Specific Plan is a planned residential development that incorporates natural open space, and paseos. Additionally, this Specific Plan is a modification of a previously-approved Specific Plan. The current proposal incorporates a greater amount of open space than was previously approved, and has less residential density than the prior Specific Plan.
- The land use plan features the following types of homes: 10 Estate Residential, 784 Low Density Residential, 1084 Medium Density Residential. The Tuscan Hills medium density development encourages an affordable attached unit condominium product.
- An extensive network of pedestrian and off-street bicycle trails have been incorporated into the Specific Plan.

**Open Space and Conservation Element**

**GOAL 1**

*Open space areas which protect environmental resources, guard against environmental hazards, provide recreational opportunities and enhanced aesthetic character of the City.*

**GOAL 2**

*A land use pattern which preserves the City's resort residential atmosphere, including scenic resources such as hillside and mountain vistas, waterways, and native desert communities.*

**Policy 1**

*Lands suitable and appropriate for preservation as open space areas shall be maintained and enhanced.*

## **Specific Plan Response**

- Open Space and private Parks within Tuscan Hills are planned to provide a range of activities and passive spaces to meet the needs of the Tuscan Hills development. Approximately 289 acres of Tuscan Hills are reserved for parks, open space. Combined this represents over 50 percent of the entire project area.
- Desert Hot Springs location in the foothills of the Little San Bernardino Mountains offers residents spectacular views each day. Views of the mountains, valleys and other scenic open spaces are assets to the City of Desert Hot Springs and the Tuscan Hills community and, as such, should be protected. Neighborhood design principles include promoting and framing the natural vistas that the community has to offer.
- Approximately 174 acres of Tuscan Hills will be undeveloped and left as open space.

## **Environmental Element**

### *Geotechnical Policy 1*

*The City shall establish and maintain maps illustrating the location of seismic and other geotechnical hazard zones occurring within the City boundaries and Sphere-of-Influence.*

### *Geotechnical Program 1 A*

*The City shall periodically confer with the California Division of Mines and Geology to develop and maintain updated Alquist-Priolo Earthquake Fault Zoning maps and other information on seismic and other geotechnical hazards affecting the community.*

### *Geotechnical Policy 2*

*In accordance with State law, development proposals within designated Alquist-Priolo Earthquake Fault Zones and along the Blind Canyon Fault shall be accompanied by appropriate geotechnical analysis.*

### *Geotechnical Policy 3*

*The Blind Canyon Fault shall be considered equivalent to and shall be regulated as a Fault Hazard Management Zone.*

### *Geotechnical Policy 8*

*Development in areas identified as being subject to a rock fall or landslide hazard shall be avoided.*

### *Flooding and Hydrology GOAL*

*Comprehensive flood control system that assures the protection of lives, property and essential facilities within the community and assures all-weather access to regional roadways.*

### *Flooding and Hydrology Policy 1*

*Assure that updated and effective Master Drainage Plans are implemented in a timely fashion for the near and long-term protection of the community and its residents.*

### *Flooding and Hydrology Policy 2*

*Provide for the implementation of drainage controls and improvements that enhance local conditions and are consistent with and complement the Master Drainage Plan.*

#### *Flooding and Hydrology Policy 5*

*Major drainage facilities, including debris basins and flood control washes and channels, shall be designed to balance their enhancement as wildlife habitat and community open space amenities, consistent with the functional requirements of these facilities.*

#### *Flooding and Hydrology Policy 7*

*All development proposed on lands of one (1) acre or larger shall be required to retain 100 percent of the 100-year storm runoff that is generated by development, on-site.*

#### **Specific Plan Response**

- The response to the goals of the Public Services and Facilities Element outlines the comprehensive plan for ensuring proper flood and any required faulting mitigation throughout Tuscan Hills. Additional information about drainage and runoff planning is provided under a separate report prepared by Ludwig Engineering. Faulting in the region and investigation on the Blind Canyon Fault has been included under a separate report prepared by LOR Geotechnical.
- The project does not lay within the 100-year floodplain, and appropriate measure will be taken to mitigate drainage issues as development occurs.
- No evidence for mass movement in the form of landslides was observed either during reviews of aerial photographs of the site and vicinity.
- Ensure that adequate public services and facilities keep pace with future development.
- Geologic site constraints and flood hazards were considered during the land use planning process. The project is subject to the California Environmental Quality Act (CEQA), and therefore the accompanying Amended Environmental Impact Report (AEIR) identifies mitigation measures to address potentially significant impacts related to a host of environmental issues, including biological, storm water and seismic activities.

#### **Noise Element**

##### *Policy 1*

*The potential of land use patterns, associated traffic and its distribution, and individual development shall be assessed for their potential to generate adverse and incompatible noise impacts, and significant impacts identified shall be appropriately mitigated.*

##### *Policy 2*

*Protect noise sensitive land uses, including residences, resorts and community open space, schools, libraries, churches, hospitals and convalescent homes from high noise levels from both existing and future noise sources.*

#### **Specific Plan Response**

- Performance standards for noise, vibration, light and glare, odors, and electromagnetic interference shall comply with the regulations of the City of Desert Hot Springs. Additional performance standards may be included in the project's covenants, conditions and restrictions. Construction and maintenance activities shall be limited to the times and noise levels allowed by the City of Desert Hot Springs.
- Development within Tuscan Hills will include several features to reduce potential noise pollution. Buffer areas are proposed to physically separate land uses from one another and to shield noise, light, and other possible nuisances. In residential areas walls, may exceed 6 feet in height for noise attenuation purposes, subject to an approved acoustical study.

## **Water, Sewer, and Utility Element**

### **GOAL 1**

*Economical water, sewer and utility facilities and services, which safely and adequately meet the needs of the City at build out.*

### **Policy 3**

*All new subdivisions of ten lots or more shall extend and be connected to sewer lines.*

### **Policy 9**

*Utility lines on major streets and scenic roadway shall have primary consideration for undergrounding.*

### **Policy 12**

*The City shall proactively participate in the regional disposal of solid waste and the reduction of the waste stream to landfills.*

### **Program 12 A**

*Work closely with the solid waste hauling franchisee to ensure that all possible recycling techniques are implemented within the City.*

## **Specific Plan Response**

- This site is not currently served by water or sewer. Adequate level of services can be provided after the appropriate improvements are made. Water conservation is an important element in the Tuscan Hills design implementation. The Mission Springs Water District has adopted a number of programs to address conservation of water through current development Standards and Policies.
- Public utilities including electricity, gas, telephone, Cable TV, and solid waste are available, but need to be extended onto the property. Specific utility providers are provided in the Chapter 4 Master Plan section of the Specific Plan. Utilities with the Tuscan Hills development can be underground or as designated by the providing utility company.
- Desert Valley Disposal Inc. will provide solid waste disposal for The Tuscan Hills Specific Plan area. As identified in the General Plan, the City shall continue its efforts to comply with State mandates to reduce the amount of solid waste disposal in landfills. Desert Valley Disposal collects, processes, and markets a



wide range of commercially-generated fiber and paper products, and many other recyclable materials through both [residential](#) and [commercial](#) recycling efforts.

## **Economic Element**

### **GOAL 1**

*A broadly based, healthy and balanced economy that provides a full range of economic and employment opportunities.*

### **Policy 2**

*Actively solicit employment and revenue generating development, including resort, commercial and industrial projects compatible and consistent with the City's General Plan.*

### **Policy 3**

*Encourage and facilitate the development of the tourist/traveler commercial potential of the U.S. Interstate-10, State Highway 62 and Indian Avenue corridors, the California Desert Conservation Area, Joshua Tree National Park and the Greater Coachella Valley area.*

### **Policy 5**

*Assure sufficient infrastructure and capital facilities in order to maintain existing economic activities and attract new resort, commercial businesses and industries to the City.*

## **Specific Plan Response**

- The Tuscan Hills Specific Plan will introduce a high-end resort spa and hotel into the City of Desert Hot Springs. It is anticipated this will introduce more opportunities for employment for the area. Multi-use trail connections to the neighboring open space areas will be provided by Tuscan Hills.

## **TENTATIVE TRACT MAP ANALYSIS**

The current lot configuration consists of 13 larger parcels on approximately 554 acres. The proposed map creates 585 lots that roughly match the Specific Plan planning areas, as well as making permanent provisions for open space, floodwater detention, street improvements, parks, and commercial space for a future resort hotel. The resulting lots range in size from to .46 acres (street dedication) to 49.42 acres (designated open space) and comply with the standards of the Specific Plan and General Plan. The has applied for TTM's 37300, 37301, 37302 & 37303 to further subdivide lots 3, 4, 5, & 9 into residential lost for the first 2 phases of the project. The resulting lots include 561 residential lots, as well as letter lots, numbered lots, lots for right-of-way dedication, HOA lots, lots for residential subdivision, lot for commercial hotel development, lots for parks/common areas, lots designated for open space and lots designated for flood control as part of the master tract map (TTM 37664). Staff would like to note that some of the residential lots are smaller than most other single-family and multi-family lots in the City, but as mentioned in the Specific Plan analysis, it is not uncommon that master planned communities often have lots sizes which are smaller than other individual residential lots in the City. The Specific Plan sets the

standard for lot sizes, setbacks, and types of development for each Planning Area and the proposed Tract Maps reflects those modified standards. The proposed tract maps also correspond, roughly, to the developers phasing plan for the entire development. Staff has provided a table, below, that breaks down each tract map and the number of resulting lots, residential units and total acres. The Tentative Tract Map exhibits are attached as Exhibit Nos 6, 7, 8, 9 & 10.

Table 11: Residential units per tract, tract Acreage

Map No.	Lot No.	Total Resulting Lots	Residential Lots	Acreage
36774	Master Tract Map for Master Planned Community – 13 lots	13	+/- 1878 (TBD by future map submittals)	554
37300	Lot 3	175	170	36.85
37301	Lot 4	107	103	23.02
37302	Lot 5	49	46	9.17
37303	Lot 9	250	242	61.68

Staff has concluded that the proposed tract maps (TTM 36774, 37300, 37301, 37302, & 37303) each meets the tests of the attached mandatory findings (Exhibit No.1) and may be approved.

### **ENVIRONMENTAL ANALYSIS**

Pursuant to Section 15162 of the California Environmental Quality Act Guidelines & Statutes the applicant has prepared an Addendum to the *Certified Desert Hot Springs Resort Cornerstone Specific Plan Final EIR* to address minor technical changes proposed by the project. Changes include a reduction in residential density, a reduction in the number of units, modification of the drainage system to meet current water quality management requirements, and a reduction in the size of the hotel and number of rooms for rent, and the elimination of the golf course. The proposed changes are minor technical changes and do not rise to the level of preparing a subsequent EIR. The Addendum determined that the project will not result in significant effects on the environment which haven't already been examined and addressed through appropriate mitigation measures in the previously certified *Desert Hot Springs Resort Cornerstone Specific Plan FEIR*. Pursuant to Public Resources Code Section 21166 no new information which was not known at the time and could not have been known at the time the FEIR was certified has become available; therefore, no subsequent or supplemental EIR is required. A more detailed explanation of the Addendum, pursuant to Section 15162 of the CEQA Guidelines, has been prepared for review by the Planning Commissions & City Council.

### **FISCAL IMPACT**

Development of this project will generate revenues to the City in the form of building permit fees to defray plan check and inspection costs, for each project phase. In addition, the City will receive on-going revenue from property & sales tax, and substantial contributions from future transit-occupancy taxes.

## **REQUIRED FINDINGS**

Staff's recommended findings of fact for the project are attached, as Exhibit No. 1

## **RECOMMENDATION**

Staff finds that the proposed project meets all required findings for the requested actions:

- Specific Plan 02-16
- General Plan Amendment 03-16
- Zoning Ordinance/Map Amendment 03-16
- Tentative Tract Map Nos. 36774, 37300, 37301, 37302, & 37303

Staff recommends that the Planning Commission recommend certification of the associated Addendum to the Final EIR, and approve the above requests, subject to the Conditions of Approval (Exhibit 2).

## **EXHIBIT(S)**

1. Recommended Findings of Fact
2. Draft Conditions of Approval
3. Draft Zoning Update Ordinance
4. Draft General Plan Update Resolution
5. Proposed Tuscan Hills Specific Plan
6. Original Cornerstone Draft Certified EIR (1991)
7. Original Cornerstone Final Certified EIR (1991)
8. Addendum to the EIR
9. EIR - Air Quality
10. EIR - Habitat Assessment Burrowing Owl MSHCP
11. EIR - Focused Sensitive Botanical Survey
12. EIR - Focused Burrowing Owl Habitat
13. EIR - Phase 1 Historical Archeological Resources
14. EIR - Preliminary Drainage Repot
15. EIR - Preliminary Drainage Report Pt2
16. Tentative Tract Map 36774
17. Tentative Tract Map 37300
18. Tentative Tract Map 37301
19. Tentative Tract Map 37302
20. Tentative Tract Map 37303
21. Oblique Aerial of Project Site
22. Site Photo from Pierson East Side
23. Site Photo Pierson Blvd Looking North
24. Site Photo Pierson Blvd, Looking West
25. Site Photo Pierson Blvd, Looking East
26. Site Photo Verbena Drive
27. Site Photo West Side PL