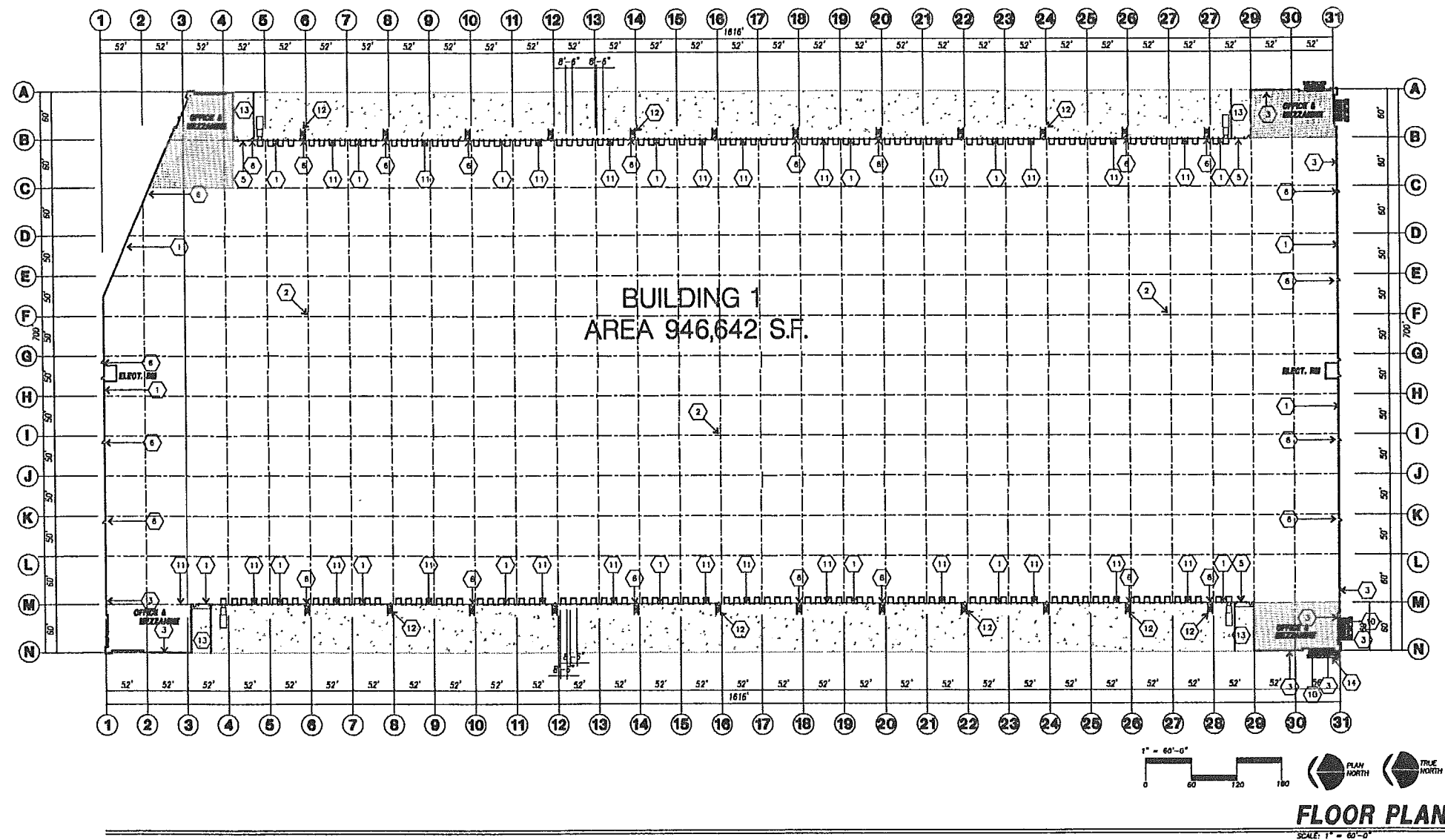
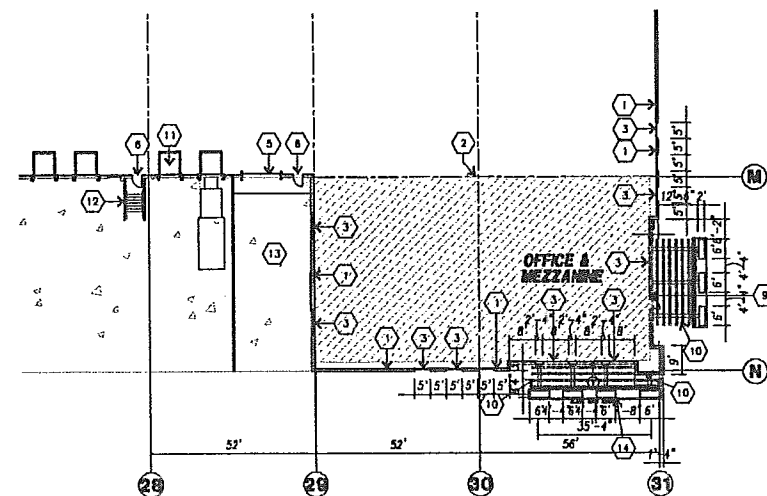




- KEYNOTES - FLOOR PLAN**
- 1 CONCRETE TILT-UP PANEL. SEE "S" DRAWINGS FOR THICKNESS AND STEEL REQUIREMENTS.
  - 2 STRUCTURAL STEEL COLUMN. SEE "S" DRAWINGS FOR SIZE.
  - 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ELEVATIONS FOR SIZE, COLOR AND LOCATION.
  - 4 SLOTTED LINE ABOVE.
  - 5 12' X 14' TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
  - 6 3' X 7' HOLLOW METAL EXTERIOR HALL DOOR.
  - 7 5'-4 1/2" X 8'-4 1/2" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR HALL DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
  - 8 FULL HEIGHT WALL.
  - 9 HANDICAPPED ENTRY SIGN.
  - 10 TRELLIS AT OFFICE ENTRY'S.
  - 11 8'-6" X 10' DOCK HIGH TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
  - 12 CONC. STAIRS.
  - 13 CONC. RAMP WITH 42" WALLS.
  - 14 GLASS WIND SCREEN.

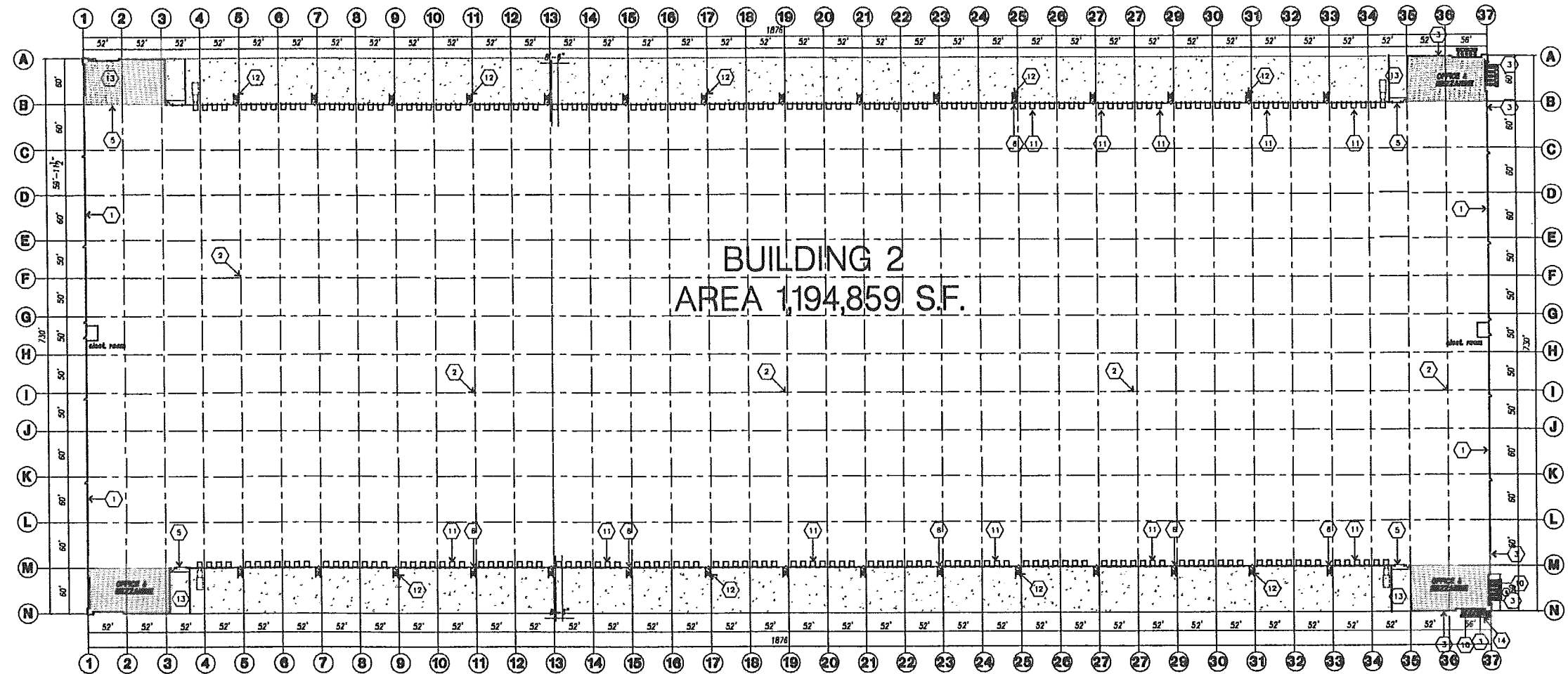
- GENERAL NOTES - FLOOR PLAN**
- A. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
  - B. FLOOR SLAB SHALL BE SEALED WITH "SEAL HARD" OR APPROVED EQUAL.
  - C. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL STP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
  - D. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
  - E. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GROUNDLINE, OR FACE OF STUO W.D.
  - F. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
  - G. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
  - H. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPHERED INCLUDING CARS AND TRUCKS.
  - I. HVAC ROOF EQUIPMENT SHALL BE SCREENED BY WALL PARAPET IN ALL CASES.



**SHEET: DAB 2-1-1**  
**BUILDING 1**  
**PALM SPRINGS BUSINESS PARK**  
**PALM SPRINGS**

**RIVERSIDE COMMERCIAL INVESTORS, INC.**  
3685 MAIN STREET, SUITE 220 RIVERSIDE, CALIFORNIA 92501  
PHONE: (951) 788-8100  
FAX: (951) 784-1524

**HPA Inc.**  
(949) 863-1770



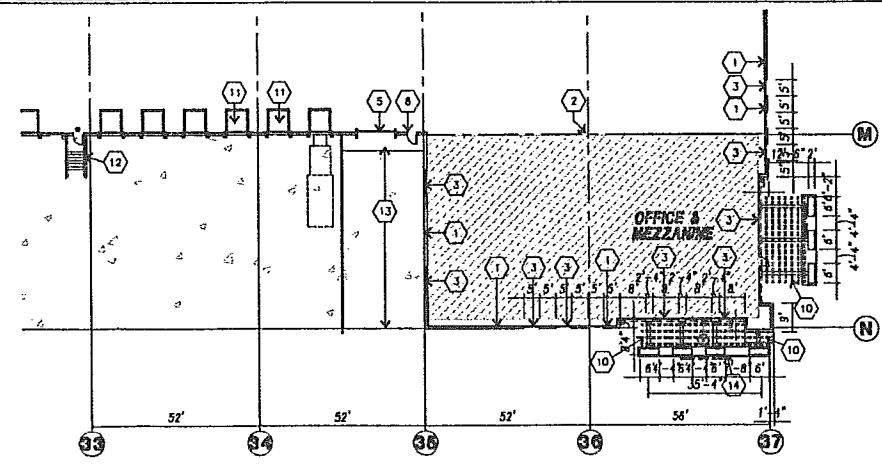
**FLOOR PLAN**  
SCALE: 1" = 60'-0"

**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL. SEE "S" DRAWINGS FOR THICKNESS AND STEEL REQUIREMENTS.
- 2 STRUCTURAL STEEL COLUMN. SEE "S" DRAWINGS FOR SIZE.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 SOFFIT LINE ABOVE.
- 5 12' X 14' TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- 6 3' X 7' HOLLOW METAL EXTERIOR HAN DOOR.
- 7 5'-6" X 8'-4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR HAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOK FINISH. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 FULL HEIGHT WALL.
- 9 HANDICAPPED ENTRY SIGN.
- 10 TRELLIS AT OFFICE ENTRY'S.
- 11 8'-4" X 10' DOCK HIGH TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- 12 CONC. STAIRS.
- 13 CONC. RAMP WITH 42" WALLS.
- 14 GLASS WIND SCREEN.

**GENERAL NOTES - FLOOR PLAN**

- A. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- B. FLOOR SLAB SHALL BE SEALED WITH "SEAL HARD" OR APPROVED EQUAL.
- C. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLLARS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BOL. BOLLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- D. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- E. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD W.A.D.
- F. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- G. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- H. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE CLAMPED INCLUDING CARS AND TRUCKS.
- I. HVAC ROOF EQUIPMENT SHALL BE SCREENED BY WALL PARAPET IN ALL CASES.



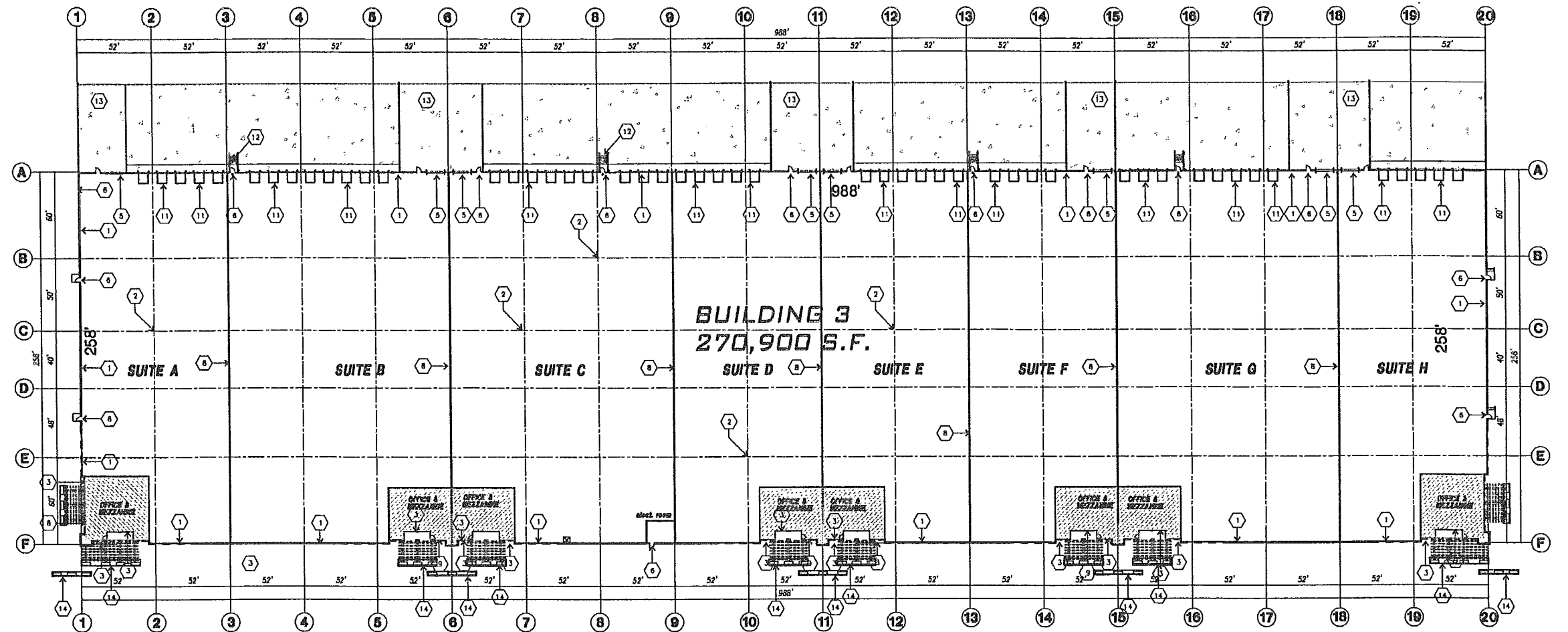
**ENLARGED CORNER OFFICE FLOOR PLAN**  
SCALE: 1" = 20'-0"

**SHEET: DAB 2-1-2**  
**BUILDING 2**  
**PALM SPRINGS BUSINESS PARK**  
**PALM SPRINGS**

**RIVERSIDE COMMERCIAL INVESTORS, INC.**  
3685 MAIN STREET, SUITE 220 RIVERSIDE, CALIFORNIA 92501  
PHONE: (951) 788-8100 FAX: (951) 784-1524

PROJECT REPRESENTATIVE  
OWNER / APPLICANT:  
RCI PROPERTIES, INC.  
3685 MAIN STREET, SUITE 220  
RIVERSIDE, CALIFORNIA 92501  
CONTACT: DARRELL BUTLER  
PHONE: (951) 788-8100  
FAX: (951) 784-1524

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18831 Bardeen Ave Irvine, California 92612  
(949) 863-1770



**BUILDING 3 FLOOR PLAN**

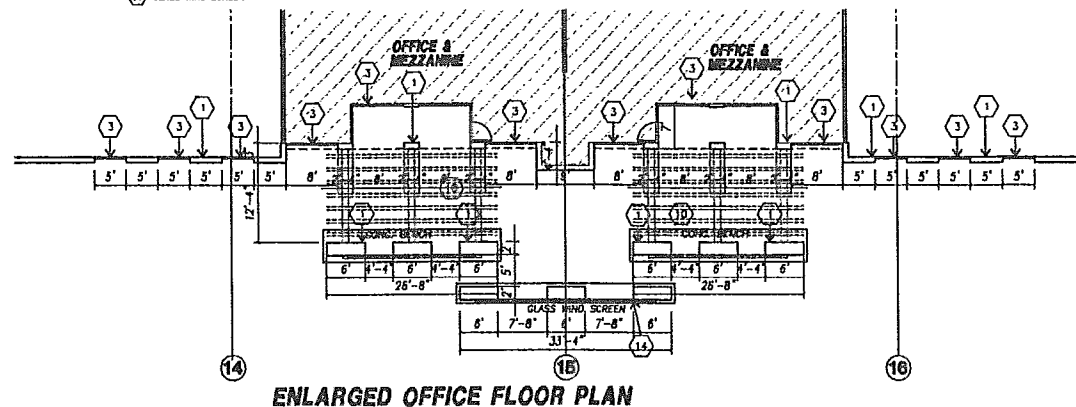
SCALE: 1" = 30'-0"

**KEYNOTES - FLOOR PLAN**

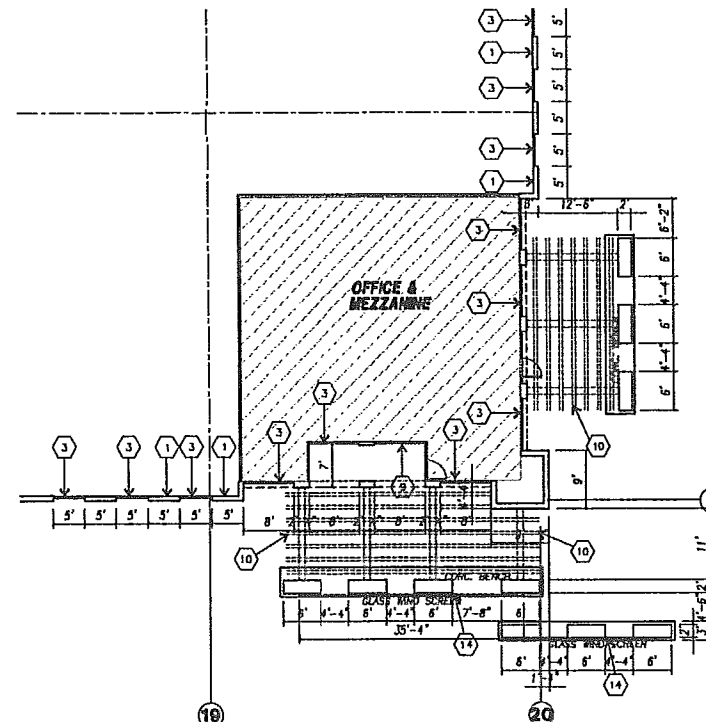
1. CONCRETE TILT-UP PANEL. SEE "S" DRAWINGS FOR THICKNESS AND REINFORCEMENT.
2. STRUCTURAL STEEL COLUMN. SEE "S" DRAWINGS FOR SIZE.
3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. SLOTTED LINE ABOVE.
5. 12' x 14' TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
6. 3' x 7' HOLLOW METAL EXTERIOR MAIN DOOR.
7. 5'-6" x 8'-6" x 10' THICK CONCRETE EXTERIOR LANDSCAPE PAD TYPICAL AT ALL EXTERIOR MAIN DOORS TO LANDSCAPE AREA. FINISH TO BE MEDIUM BROWN FINISH. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
8. FULL HEIGHT WALL.
9. HANDICAPPED ENTRY SIGN.
10. TRELLIS AT OFFICE ENTRY'S.
11. 8'-6" x 10' DOCK HIGH TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
12. CONC. STAIRS.
13. CONC. RAMP WITH 42" WALLS.
14. GLASS WIND SCREEN.

**GENERAL NOTES - FLOOR PLAN**

- A. FIRE HOSE LOCATIONS SHALL BE APPROVED FOR FIRE DEPARTMENT.
- B. FLOOR SLAB SHALL BE SEALED WITH "SEAL HARD" OR APPROVED EQUAL.
- C. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PROPER ONLY. ALL DTP. BOL WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- D. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL ENTS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- E. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD WALL.
- F. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- G. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FRESH OPENINGS.
- H. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPHER INCLUDING CARS AND TRUCKS.
- I. HVAC ROOF EQUIPMENT WILL BE SCREENED BY WALL PARAPET IN ALL CASES.



**ENLARGED OFFICE FLOOR PLAN**



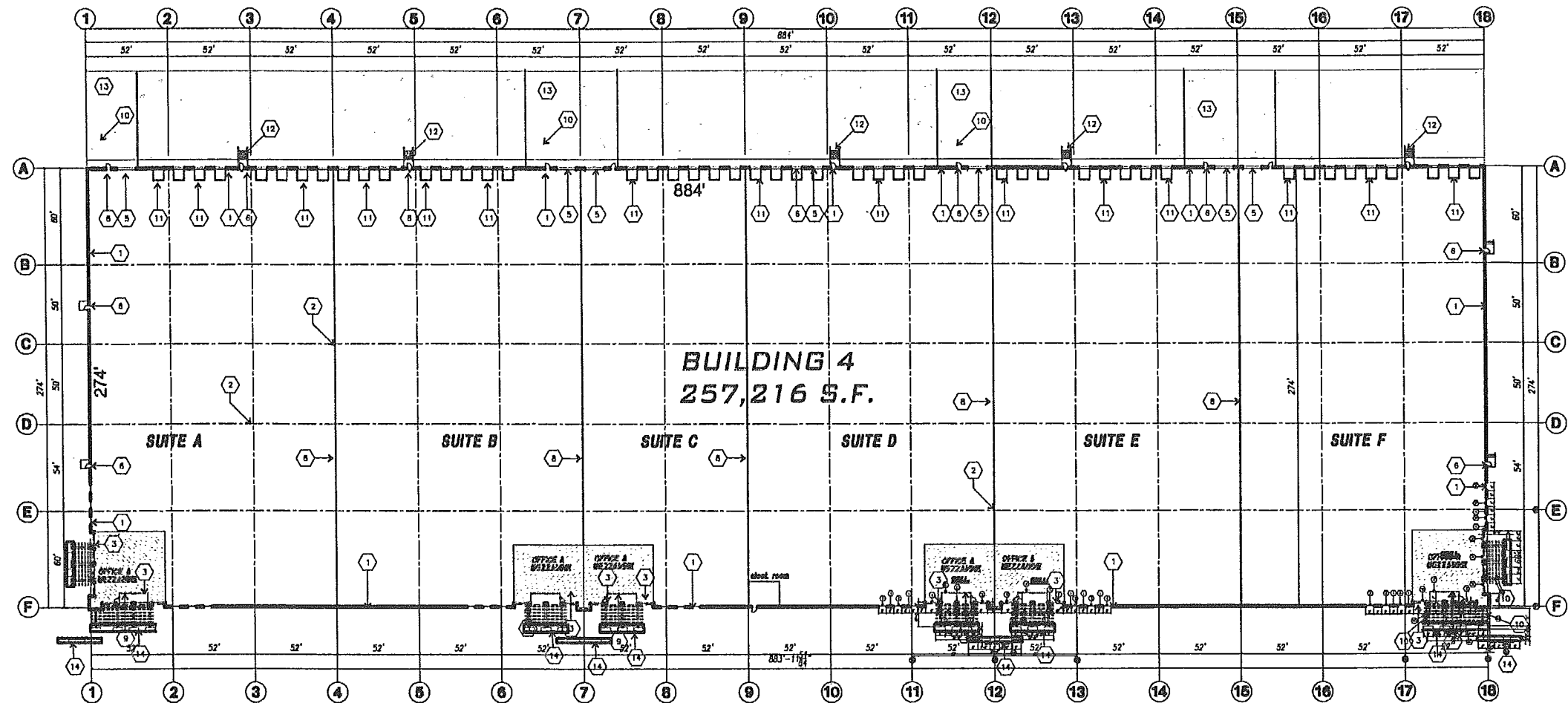
**ENLARGED CORNER OFFICE FLOOR PLAN**



**SHEET: DAB 2-1-3**  
**BUILDING 3**  
**PALM SPRINGS BUSINESS PARK**  
**PALM SPRINGS**

**RIVERSIDE COMMERCIAL INVESTORS, INC.**  
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**HPA Inc.**



# FLOOR PLAN

SCALE: 1" = 30'-0"

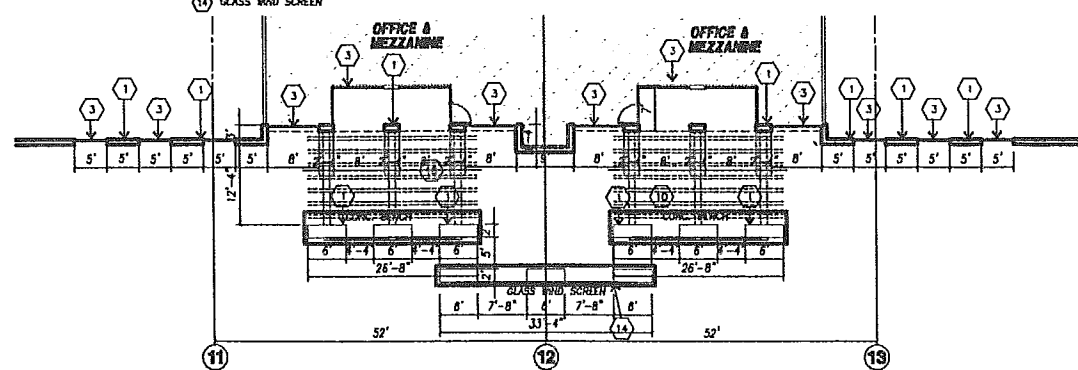


## KEYNOTES - FLOOR PLAN

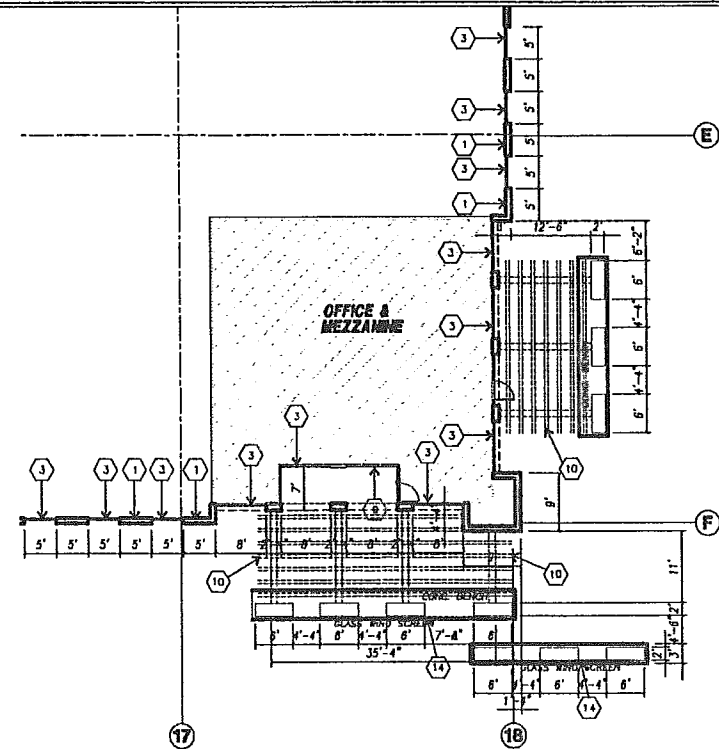
- 1 CONCRETE TILT-UP PANEL. SEE "S" DRAWINGS FOR THICKNESS AND STEEL REQUIREMENTS.
- 2 STRUCTURAL STEEL COLUMN. SEE "S" DRAWINGS FOR SIZE.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 SOFFIT LINE ABOVE.
- 5 12' X 14' TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- 6 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDINGS PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOK FINISH. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 FULL HEIGHT WALL.
- 9 HANDICAPPED ENTRY SKIN.
- 10 TRELLIS AT OFFICE ENTRY'S.
- 11 8'-6" X 10' DOCK HIGH TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- 12 CONC. STAIRS.
- 13 CONC. RAMP WITH 42" WALLS.
- 14 GLASS WIND SCREEN.

## GENERAL NOTES - FLOOR PLAN

- A. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- B. FLOOR SLAB SHALL BE SEALED WITH "SEAL HARD" OR APPROVED EQUAL.
- C. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLLARS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- D. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- E. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.M.G.
- F. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- G. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- H. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE COVERED INCLUDING CARS AND TRUCKS.
- I. HVAC ROOF EQUIPMENT WILL BE SCREENED BY WALL PARAPET IN ALL CASES.



ENLARGED OFFICE FLOOR PLAN



ENLARGED CORNER OFFICE FLOOR PLAN

**SHEET: DAB 2-1-4**  
**BUILDING 4**  
**PALM SPRINGS BUSINESS PARK**  
**PALM SPRINGS**

**RIVERSIDE COMMERCIAL INVESTORS, INC.**  
 3685 MAIN STREET, SUITE 220 RIVERSIDE, CALIFORNIA 92501  
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 FAX: (951) 784-1524

**PROJECT REPRESENTATIVES**  
**OWNER / APPLICATOR**  
 RCJ PROPERTIES, INC.  
 3685 MAIN STREET, SUITE 220  
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 CONTACT: DARRELL BUTLER  
 PHONE: (951) 788-8100  
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**HPA Inc.**

18831 Borden Ave Irvine, California 92612

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