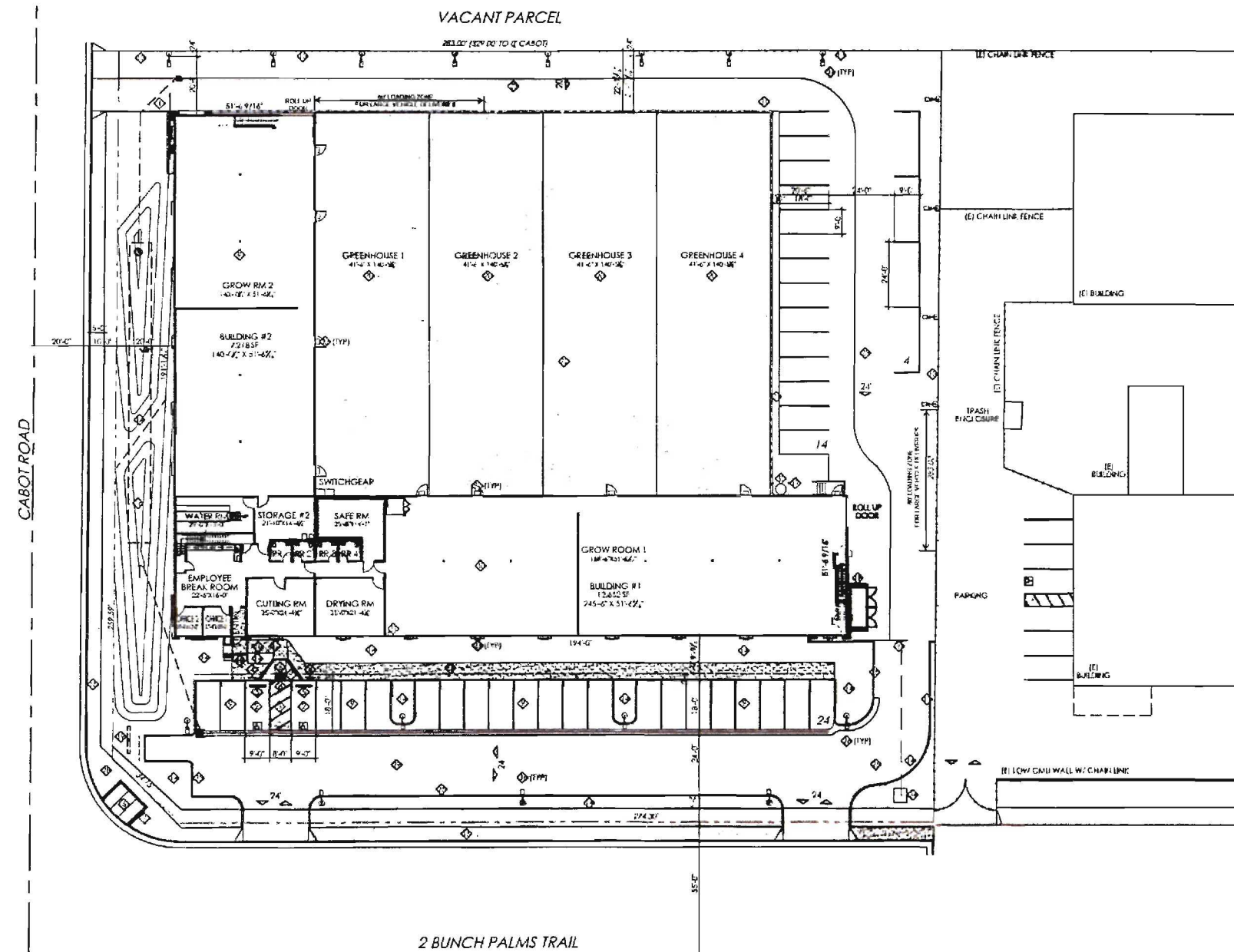


DESERT HOT SPRINGS WAREHOUSE



SITE PLAN 15.X.1120

	TITLE SHEET, SITE PLAN
CIVIL	
1	PRELIMINARY GRADING PLAN
2	TOPOGRAPHICAL EXHIBIT / EXISTING SITE PLAN
3	PRELIMINARY HYDROLOGY PLAN
ARCHITECTURAL	
2	1ST FLOOR PLAN
3	2ND FLOOR PLAN
4	ROOF PLAN
5	ELEVATIONS
6	ELEVATIONS and SECTIONS
ELECTRICAL	
E-1	SITE ELECTRICAL PLAN
E-2	PHOTOMICRIC PLAN
LANDSCAPE	
LS-1	LANDSCAPE FLOOR PLAN
LS-2	LANDSCAPE IRRIGATION PLAN
LS-3	LANDSCAPE DETAILS and SPECIFICATION
	PHOTOGRAPHIC EXHIBIT

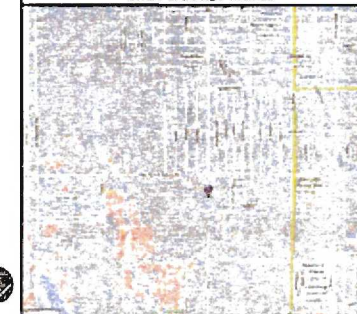
SHEET INDEX

ICE/STANLEY		
REF AREA:		95.1259
LOC LEVERAGE:		2.14AC/95.1
OCCUPANCY:		87.47%
		20.14/95.1
IMAG 1		
ICE/STANLEY #1		
1ST FLOOR:		
GRATING ROOM #1:	168.3 2'x3' 2 1/4" 4' 9" 1/4"	6.849 SF
GRATING ROOM #2:	135.4 2'x3' 2 1/4" 4' 9" 1/4"	7.794 SF
WALL (CORNER):	51.9 2'x3' 2 1/4" 4' 9" 1/4"	7.787 SF
2ND FLOOR		
GRATING ROOM #3:	218.1 1'x7' 2 1/4" 4' 9" 1/4"	11.373 SF
GRATING ROOM #4:	183.1 2'x3' 2 1/4" 4' 9" 1/4"	7.813 SF
WALL (CORNER):	51.9 2'x3' 2 1/4" 4' 9" 1/4"	7.787 SF
10TH FLOOR SQUARE FOOTAGE		
CURTAILED ROOMS:	14.47' 2'x3' 2 1/4" 4' 9" 1/4"	26.29 SF
WALL (CORNER) SQUARE FOOTAGE:		6.820 SF
TOTAL		
ROW:	20 PIG	PROG. BARS
WATER/STAIR:	34.340 SF	1.4740 SF
GRATING ROOMS:	23.349 SF	9.7543 SF
WALL (CORNER):	3.748 SF	1.1752 SF
APARTMENT:	8.010 SF	2.2715 SF
TOTAL STALLS REQUIRED:		
STALLS PROVIDED:		41.7543 SF
WATER/STAIR SQUARE FOOTAGE:		42.3435 SF
LANDING AREA SQUARE FOOTAGE:		12.220 SF

SITE SUMMARY

- 161 POLICE OFFICE
- 162 POLING SECURITY GATE
- 163 ACCESSIBLE VAN STALL
- 164 LOCKING RUMBLE
- 165 SCHEDULE
- 166 DOWNSHIFT STEP
- 167 CURB SIDE
- 168 WARNING SIGNALS
- 169 REINFORCED DOMES
- 170 STAIRWELL WALL
- 171 RAMP
- 172 MET STEEL RAILS
- 173 CONIC STEP W/ WARNING SIGNALS
- 174 B-OT CHAIRLIFT SECURITY PERICE
- 175 FLAPJACK
- 176 CONE W/ALERT MAT
- 177 REEFERBANK
- 178 STEEL ROLL-UP
- 179 BRUSH LINDOLGERS
- 180 MOVEMENT
- 201 GREENHOUSE
- 202 REPAIRING HALL
- 203 CONCERN PAD
- 204 MULTIPLE BEAMS
- 205 TRANSFORMER
- 206 CONCRETE CURB
- 207 15-2 TALL LIGHT STAND W/ CONCRETE BASE
- 208 REPAIR
- 209 FIRE HYDRANT
- 210 ASPHALT PAVING LOT
- 211 BUILDING
- 212 SPAN-ON RESES
- 213 GGG GASHOT INDOOR AIR

SITE PLAN KEY NOTES



VICINITY MAP



ARCHITECTURE PLANNING INTERIORS
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CONSULTANT'S STAMP

[illegible]

OWNER	
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BUNCH PALMS TRAIL, LLC

(951) 640-7392

PROJECT:

DESERT HOT SPRINGS
WAREHOUSE

APR 14 4 35 PM '78
DESERT HCT SPRING, CA

PROJECT NO.	15.004.00
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SCALE: AS NOTED

DATE: 10.16.15

DRAWN BY:

REVIEWED BY:

ISSUED FOR BID

ISSUED FOR CONST.

SHEET TITLE:

TITLE SHEET
and
SITE PLAN

SHEET NO.

1