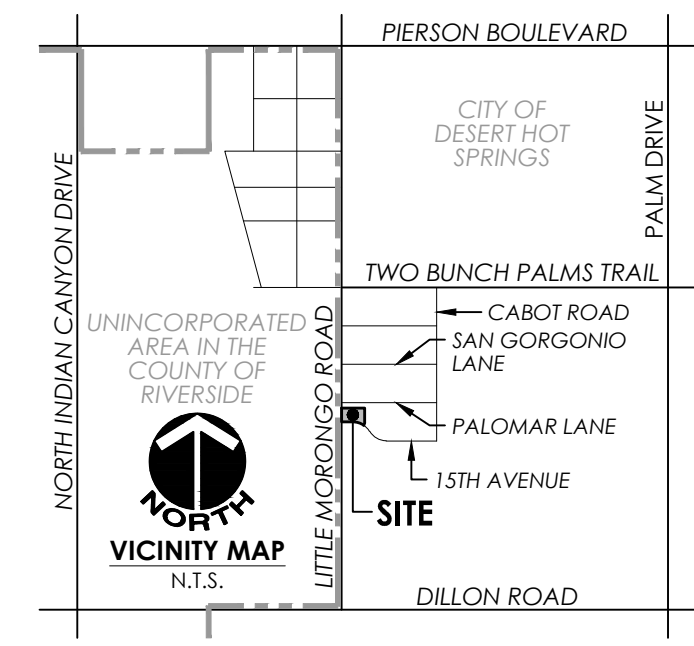
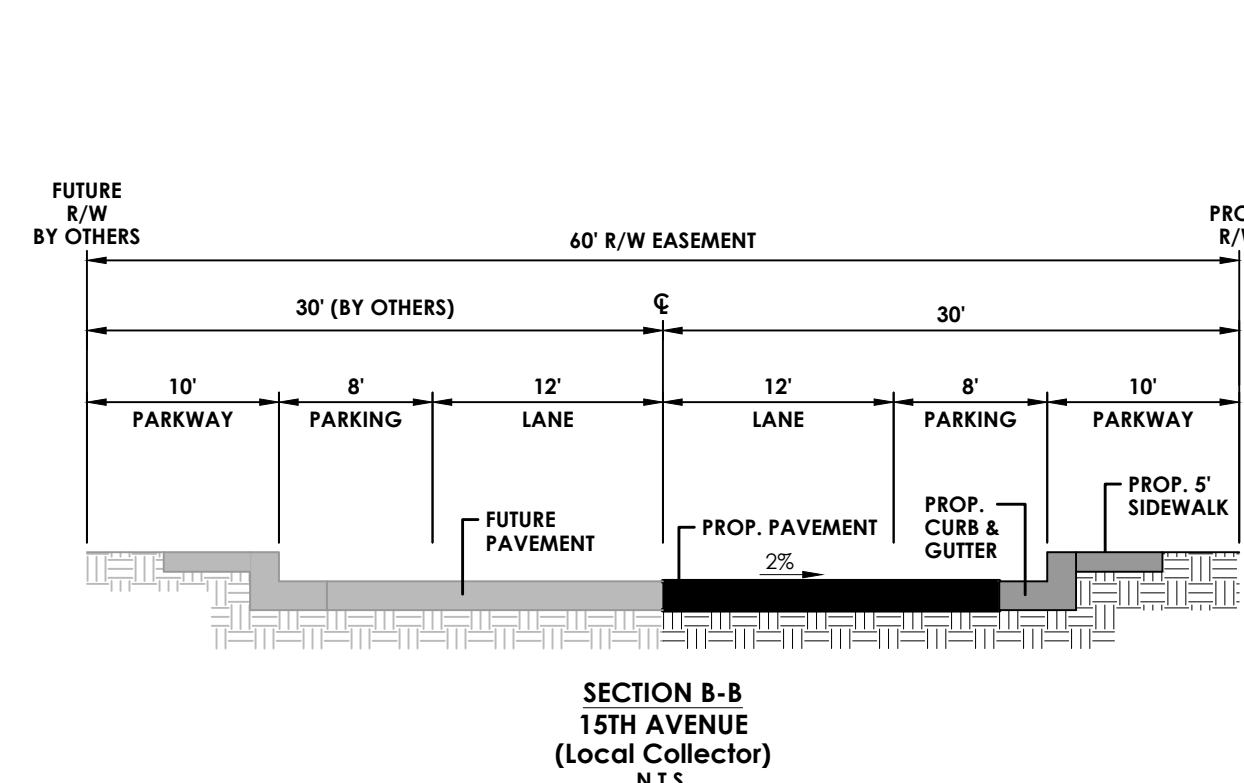
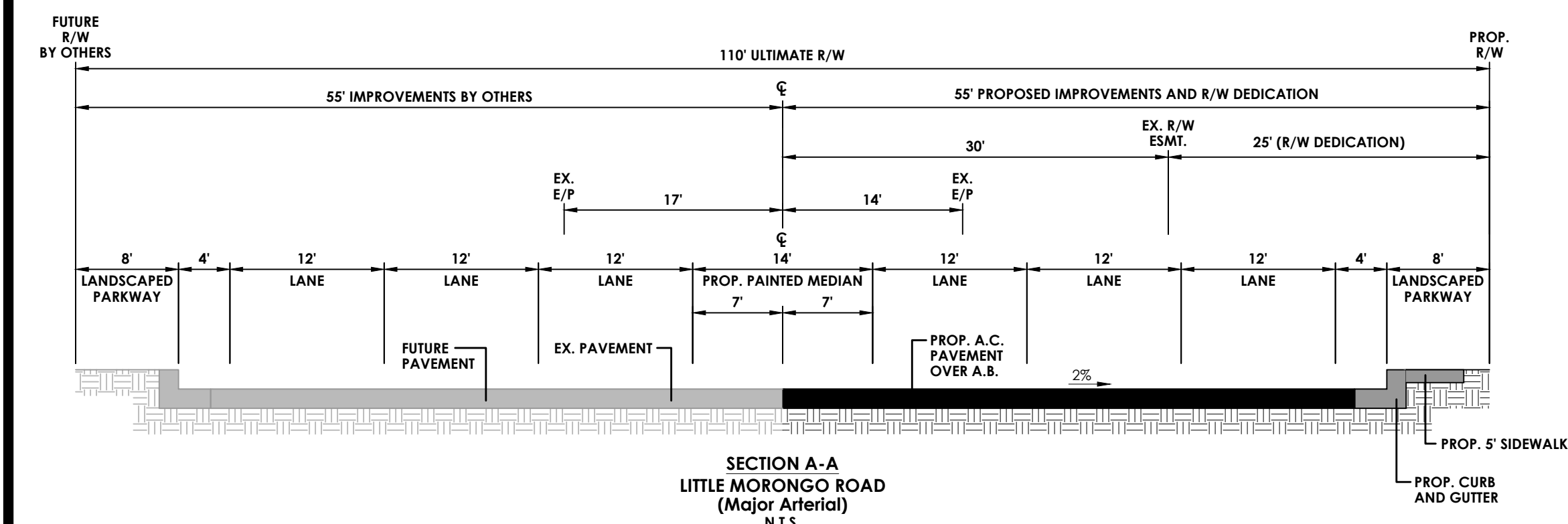
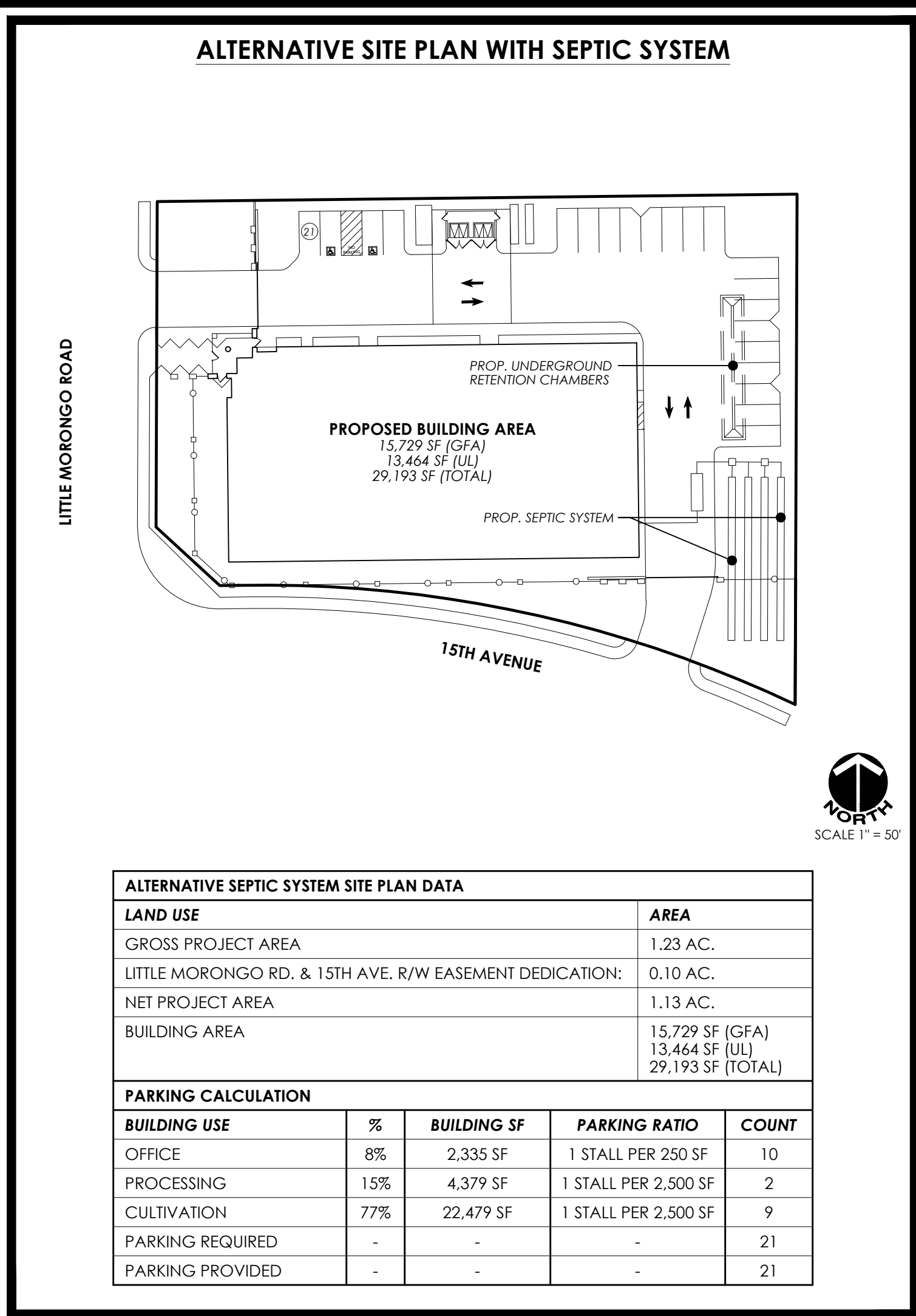
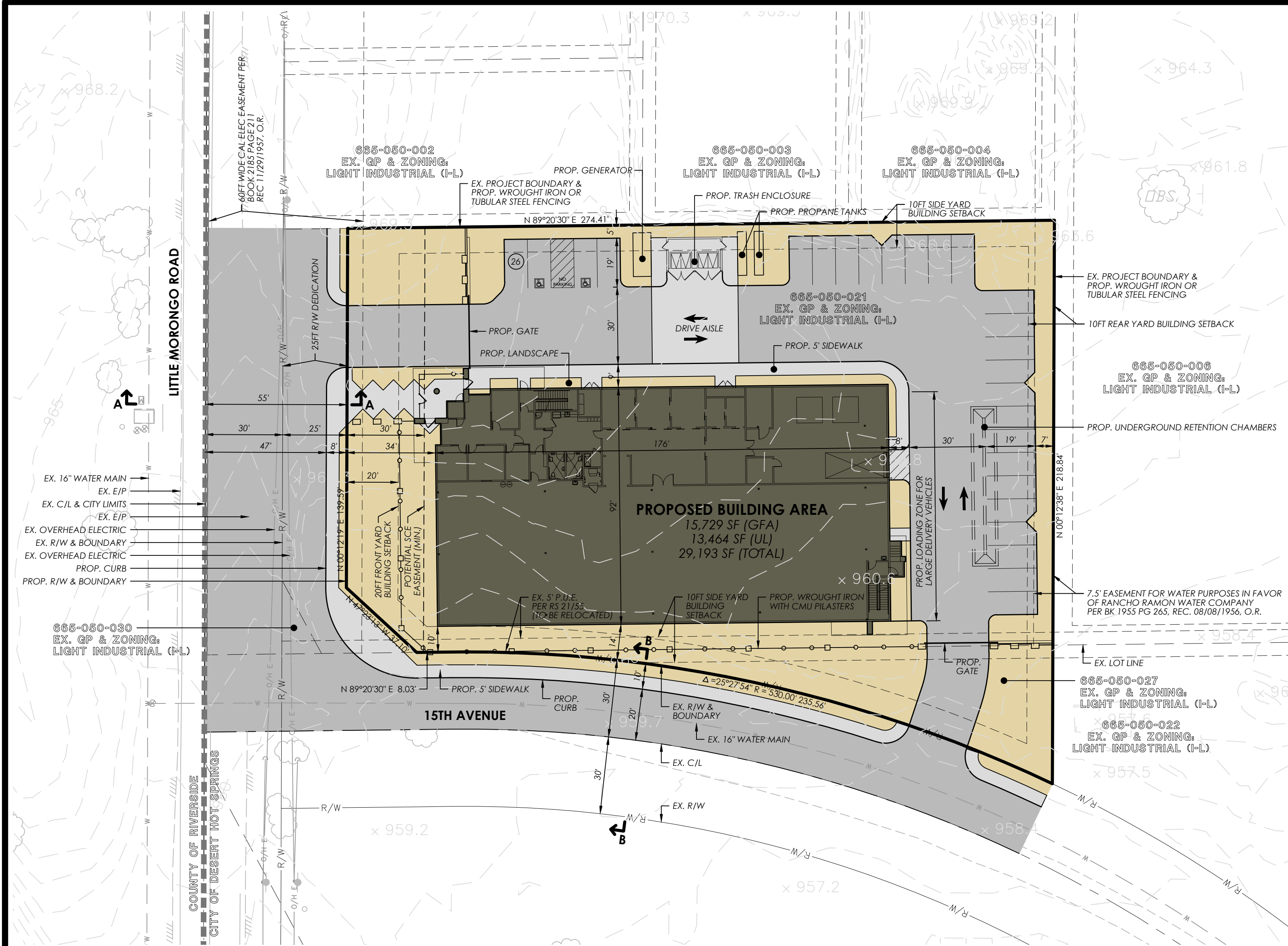


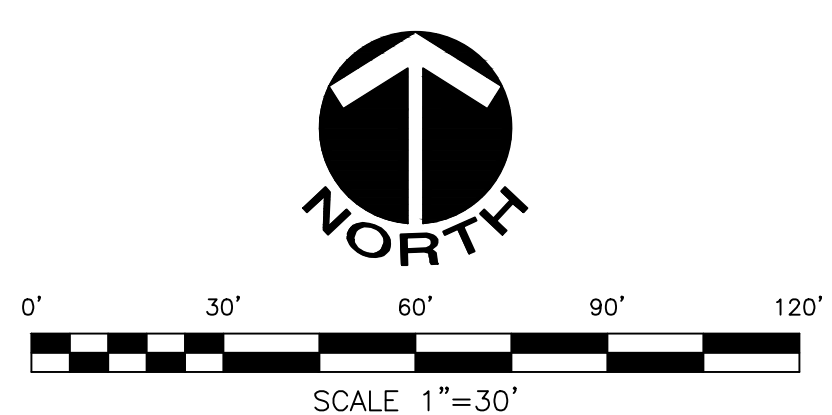
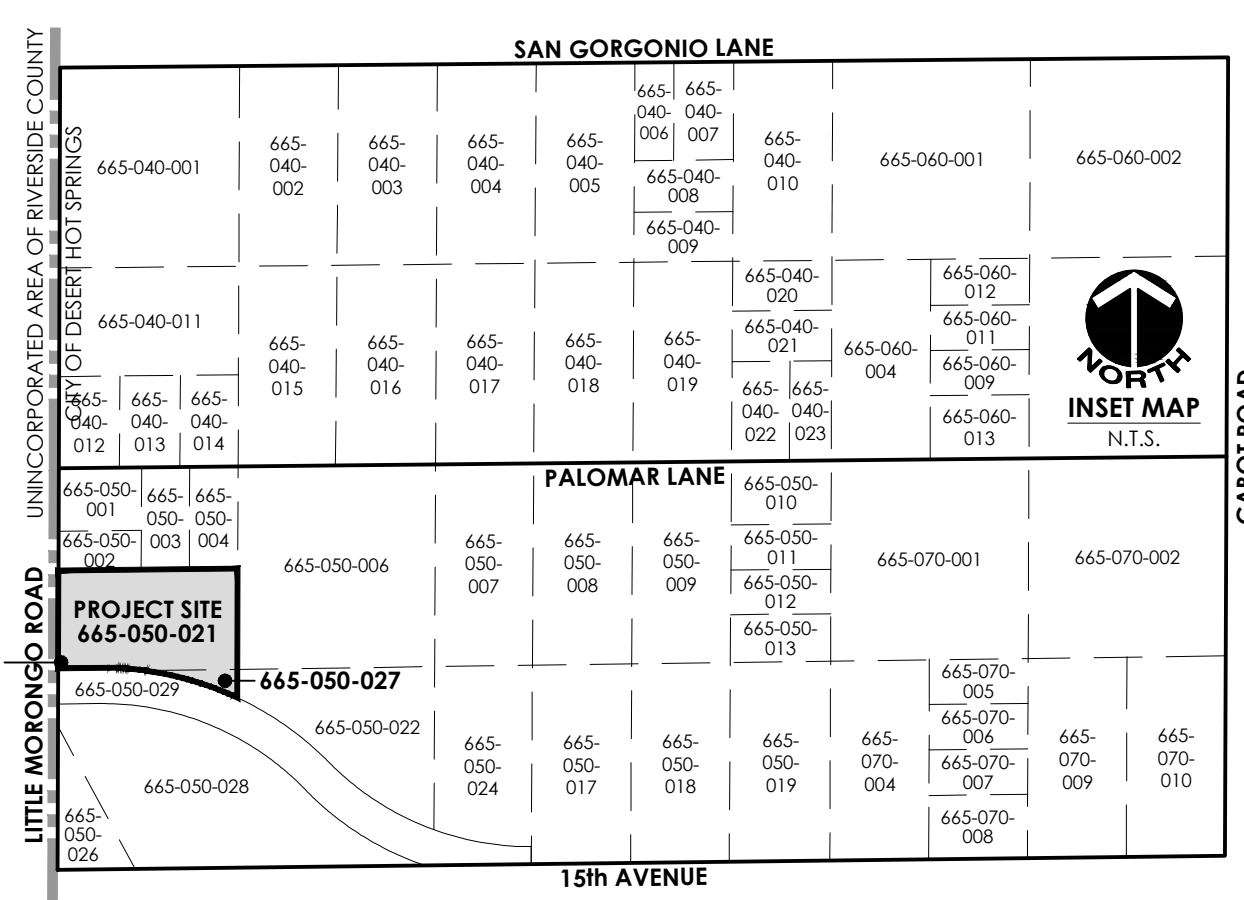


ABBREVIATIONS

(E) EAST
(N) NORTH
(S) SOUTH
(W) WEST
A.C. ASPHALT CONCRETE
AC ACREAGE
APN ASSESSOR'S PARCEL NUMBER
BNDRY BOUNDARY
C/L CENTERLINE
C&G CURB AND GUTTER
E/P EDGE OF PAVEMENT
ESMT. EASEMENT
EX EXISTING
GFA GROUND FLOOR AREA
MAX. MAXIMUM
M.B. MAP BOOK
MIN. MINIMUM
NO. NUMBER
N.T.S. NOT TO SCALE
O/H OVERHEAD
OS/P OPEN SPACE / PARKS
PED. PEDESTRIAN
PG. PAGE
P/L PROPERTY LINE
PROP. PROPOSED
P.U.E. PUBLIC UTILITY EASEMENT
R. RADIUS
R/L LOW DENSITY (RESIDENTIAL)
R/W RIGHT OF WAY
SF SQUARE FEET
STD. STANDARD
TYP. TYPICAL
UG UNDERGROUND
UL UPPER LEVEL

LEGEND

— C — EXISTING CABLE
— DRN — EXISTING IRRIGATION DRAIN LINE
— E — EXISTING EASEMENT
— E — EXISTING ELECTRIC
— G — EXISTING GAS
— IRR — EXISTING IRRIGATION
— LOT — EXISTING LOT LINE
— T — EXISTING EDGE OF PAVEMENT
— T — EXISTING TELEPHONE
— O/H T — EXISTING OVERHEAD TELEPHONE
— R/W — EXISTING RIGHT OF WAY
— S — EXISTING SEWER
— FM — EXISTING SEWER FORCE MAIN
— W — EXISTING WATER
— — EXISTING CITY / COUNTY LIMITS
— — PROJECT BOUNDARY
— — PROPOSED PARCEL LINE
— — PROPOSED AND EXISTING CENTER LINE
— — PROPOSED RIGHT OF WAY
— — PROPOSED CURB
— — PROPOSED BUILDING ENVELOPE
— — PROPOSED PARKING SPACES



IN THE CITY OF DESERT HOT SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

CONDITIONAL USE PERMIT PROPOSED SITE PLAN

EXHIBIT DATE: JANUARY 10, 2017

DATA TABLE

APPLICANT:	AGREENCULTUREDHS INC.			
ADDRESS:	17973 MEDLEY DRIVE ENCINO, CALIFORNIA 91316			
CONTACT:	DMITRY MARGUSOV	TELEPHONE:	(310) 770-0366	
LAND OWNER:	GREEN GATE BRIDGE LLC.			
ADDRESS:	17973 MEDLEY DRIVE ENCINO, CALIFORNIA 91316			
CONTACT:	DMITRY MARGUSOV	TELEPHONE:	(310) 770-0366	
LAND OWNER:	DESERT MISSION LLC.			
ADDRESS:	17973 MEDLEY DRIVE ENCINO, CALIFORNIA 91316			
CONTACT:	DMITRY MARGUSOV	TELEPHONE:	(310) 770-0366	
EXHIBIT PREPARER:	MSA CONSULTING, INC.			
ADDRESS:	34200 BOB HOPE DRIVE RANCHO MIRAGE, CALIFORNIA 92270			
CONTACT:	PAUL DEPALATIS, AICP	TELEPHONE:	(760) 320-9811	
SOURCE OF TOPOGRAPHY:	INLAND AERIAL SURVEYS, INC.			
ADDRESS:	7117 ARLINGTON AVENUE, SUITE "A" RIVERSIDE, CALIFORNIA 92503			
DATE OF TOPOGRAPHY:	APRIL 1, 2015	TELEPHONE:	(951) 687-4252	
ASSESSOR'S PARCEL NUMBER:	665-050-021, -027 & -030			
LEGAL DESCRIPTION:	A PORTION OF PARCEL 43 RS 21/55 SECTION 1, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE & MERIDIAN			
LAND USE DATA:	ACREAGE			
EXISTING GROSS ACREAGE:	1.23 AC.			
LITTLE MORONGO ROAD & 15TH AVENUE R/W EASEMENT DEDICATION:	0.10 AC.			
PROPOSED NET ACREAGE:	1.13 AC. (100%)			
BUILDING AREA	AREA			
EXISTING GROSS ACREAGE:	1.23 AC.			
LITTLE MORONGO ROAD & 15TH AVENUE R/W EASEMENT DEDICATION:	0.10 AC.			
PROPOSED NET ACREAGE:	1.13 AC. (100%)			
ACCESS ROADS, HARDSCAPE AND PARKING	0.44 AC.			
LANDSCAPE AREAS AND RETENTION BASIN	0.33 AC.			
ONSITE PARKING DATA:	BUILDING SF	PARKING RATIO	COUNT	PERCENTAGE
OFFICE	2,335 SF	1 STALL PER 250 SF	10 STALLS	8%
PROCESSING	4,379 SF	1 STALL PER 2,500 SF	2 STALLS	15%
CULTIVATION	22,479 SF	1 STALL PER 2,500 SF	9 STALLS	77%
TOTAL PARKING REQUIRED	-	-	21 STALLS	100%
TOTAL PARKING PROVIDED	-	-	26 STALLS	-
EXISTING ZONING:	LIGHT INDUSTRIAL (I-L)			
PROPOSED ZONING:	LIGHT INDUSTRIAL (I-L) WITH CONDITIONAL USE PERMIT			
EXISTING GENERAL PLAN LAND USE:	LIGHT INDUSTRIAL (I-L)			
PROPOSED GENERAL PLAN LAND USE:	LIGHT INDUSTRIAL (I-L) WITH CONDITIONAL USE PERMIT			
SURROUNDING LAND USES:				
NORTH:	VACANT LAND (ZONED: LIGHT INDUSTRIAL)			
SOUTH:	VACANT LAND (ZONED: LIGHT INDUSTRIAL)			
EAST:	VACANT LAND (ZONED: LIGHT INDUSTRIAL)			
WEST:	VACANT LAND (ZONED: LIGHT INDUSTRIAL)			
PUBLIC UTILITY PURVEYORS:				
ELECTRIC:	SOUTHERN CALIFORNIA EDISON CO.	(800) 684-8123		
GAS:	THE GAS COMPANY / SEMPRA ENERGY	(909) 335-7625		
TELEPHONE:	VERIZON COMPANY	(800) 483-5000		
WATER:	MISSION SPRINGS WATER DISTRICT	(760) 329-6448		
CABLE:	TIME WARNER CABLE	(760) 340-1312		
SEWER:	COACHELLA VALLEY WATER DISTRICT	(760) 329-6448		
USA:	UNDERGROUND SERVICE ALERT	(800) 227-2600		
FEMA FLOOD ZONE DESIGNATION:	ZONE AO - AREAS OF 1% ANNUAL CHANCE FLOOD HAZARD WITH AVERAGE DEPTHS OF 1 FOOT			
FIRM NUMBER:	0606SC0885G; EFFECTIVE DATE: AUGUST 28, 2008			
Conditional Use Permit Intent:				
1. Medical Marijuana Cultivation in accordance with Desert Hot Springs Municipal Code Chapters 5.50 and 17.180 including plant cloning, cultivation, trimming, drying, extraction, and processing of oils and butters, CO2 equipment use for enhanced plant growth and extraction, product packaging and shipping.				
2. This facility has been designed in accordance with Desert Hot Springs regulations governing the cultivation of medical marijuana (Municipal Code Chapter 5.50 and 17.180), current state laws codified in the Compassionate Use Act of 1996 (California Health and Safety Code Sections 11362.7 through 11362.83), the California Attorney General's Guidelines for the Security and Non-Diversion of Marijuana Growth for Medical Use (issued in August, 2008) and the Medical Marijuana Regulation and Safety Act (AB 264). The requested use, site layout, and site operations as well as any related activities, such as transportation, manufacturing, and testing are designed for full compliance and vesting under both existing and potential future City and State laws governing the cultivation of medical marijuana.				
CELEBRATING FORTY YEARS				
MSA CONSULTING, INC. PLANNING ■ CIVIL ENGINEERING ■ LAND SURVEYING 34200 BOB HOPE DRIVE ■ RANCHO MIRAGE ■ CA 92270 TELEPHONE (760) 320-9811 ■ FAX (760) 323-7893				