

# ACCUCANNA HEALTH CENTER

FOR

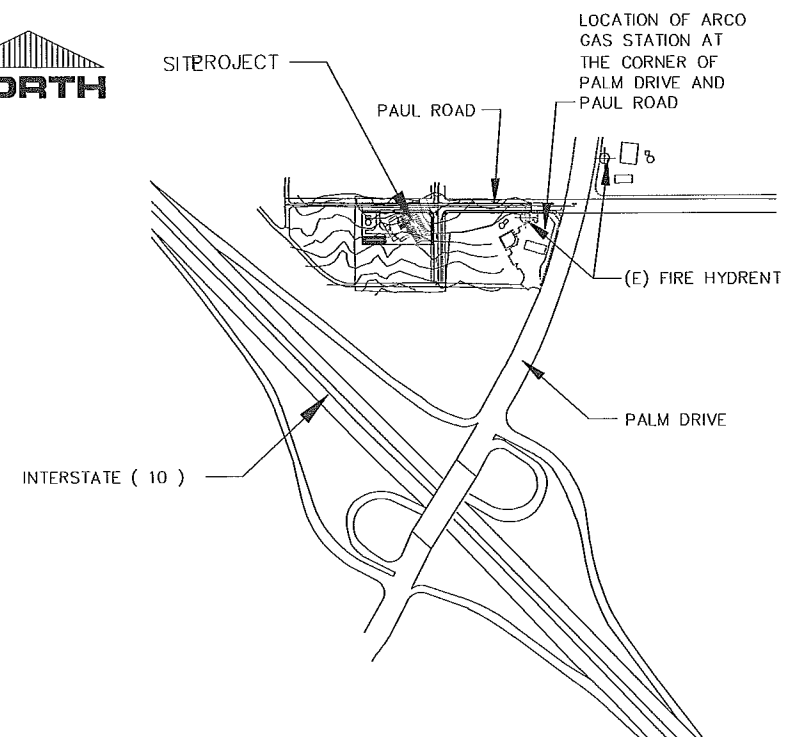
MR. BILLY CONNER

AT

PAUL ROAD

CITY OF DESERT HOT SPRINGS

TEL: (323) 361-8955



VICINITY MAP / KEY PLAN

## APPLICABLE CODES

2013 CALIFORNIA ADMINISTRATIVE CODE (CAC)  
(CAC) (PART 1, TITLE 24, CCR)

2013 CALIFORNIA BUILDING CODE (CBC)  
VOLUME 1, AND 2, (PART 2, TITLE 24, CCR)  
(2009 EDITION INTERNATIONAL BUILDING CODE  
WITH 2010 CALIFORNIA AMENDMENTS)

2013 CALIFORNIA ELECTRICAL CODE  
(PART 3, TITLE 24, CCR)  
(2008 EDITION NATIONAL ELECTRICAL CODE  
WITH 2010 CALIFORNIA AMENDMENTS)

2013 CALIFORNIA MECHANICAL CODE (CMC)  
(PART 4, TITLE 24, CCR)  
(2009 EDITION IAPMO UNIFORM MECHANICAL  
CODE WITH 2010 CALIFORNIA AMENDMENTS)

2013 CALIFORNIA PLUMBING CODE (CPC)  
(PART 5, TITLE 24, CCR)  
(2009 EDITION IAPMO UNIFORM PLUMBING  
CODE WITH 2010 CALIFORNIA AMENDMENTS)

2013 CALIFORNIA ENERGY CODE  
(PART 6, TITLE 24, CCR)  
(2008 EDITION CALIFORNIA ENERGY COMMISSION  
BUILDING ENERGY EFFICIENCY STANDARD)

2013 CALIFORNIA FIRE CODE (CFC)  
(PART 9, TITLE 24, CCR)  
(2009 EDITION OF INTERNATIONAL FIRE CODE  
WITH 2010 CALIFORNIA AMENDMENTS)

2013 CALIFORNIA GREEN CODE  
(PART 11, TITLE 24, CCR)

2013 CALIFORNIA REFERENCED STANDARDS CODE  
(PART 12, TITLE 24, CCR)  
NFPA 13 -2013  
NFPA 72 -2013

## PROJECT TEAM

**PROJECT OWNER :**  
MR. WILLIAM CONNER  
2496 BAYSIDE WALK  
SAN DIEGO, CA 92109  
PHONE: (619) 846-9222

**ARCHITECT :**  
KEN AGHAROKH AND ASSOCIATES  
25471 WAGON WHEEL CIRCLE  
LAGUNA HILLS, CA 92653  
PHONE: (949) 916-6220

**STRUCTURAL ENGINEER :**  
EXL STRUCTURE ENGINEERS  
4091 RIVERSIDE DR. SUITE # 114  
CHINO, CA 91710  
PHONE: (909) 613-0234

**GEOTECHNICAL ENGINEER :**  
SLAODEN ENGINEERING  
45-090 GOLF CENTER PARKWAY, SUITE F  
INDIO, CA 92201  
PHONE: (760) 863-0713

**CIVIL ENGINEER :**  
MICHAEL PLATT CONSULTING  
66055 ESTRELLA AVENUE  
DESERT HOT SPRINGS, CA 92240  
PHONE: 760 250-6265

**MODULAR CO. :**  
SCI  
31631 AUTO CENTER DR.  
LAKE ELSINOR, CA 92530  
PHONE: (951) 245-0700

## PROJECT DATA

**DESIGN & CONSTRUCTION DOCUMENTS CODE :**  
CBC 2013

**PROJECT DESCRIPTION :**  
MODULAR BUILDING FOR MEDICAL OFFICE  
3 X 12' X 40' = 1,440 SQ. FT.  
MODULAR BUILDING FOR CULTIVATION AND SALE  
OF MARIJUANA 4 X 12' X 40' = 1,920 SQ. FT.  
TOTAL OF 7-12' X 40' = 3,360 SQ. FT.

**OCCUPANCY :**  
MEDICAL OFFICE "B"  
CULTIVATION AND SALE "H"

**OCCUPANT LOAD :**  
MEDICAL OFFICE 1,440 SQ.FT. / 100 = 14 MAX.  
CULTIVATION AND SALE 1,920 SQ. FT. / 100 = 19 MAX.

**CONSTRUCTION TYPE :**  
V-B WITH FIRE SPRINKLER SYSTEM

**BUILDING HEIGHT :**  
12'-0"

**FLOOR LIVE LOAD :**  
50 PSF

**ROOF LIVE LOAD :**  
REDUCIBLE 20 PSF

**WIND LOAD :**  
130 MPH EXPOSURE "C"

**SEISMIC DESIGN CATEGORY :**  
CLASS D

**FOUNDATION :**  
BUILDING ON PERMANENT CONCRETE FOUNDATION

**BUILDING ALLOWABLE AREA ANALYSIS :**  
CBC ALLOWABLE AREA FOR MEDICAL OFFICE 9,000 S.F.  
9,000 SQ. FT. > 1,440 SQ. FT.  
CBC ALLOWABLE AREA FOR H 9,000 SQ. FT.  
9,000 SQ. FT. > 1,920 SQ. FT.

## SITE ANALYSIS

**PROJECT ADDRESS :**  
PAUL ROAD  
DESERT HOT SPRINGS, CALIFORNIA

**ASSESSOR'S PARCEL NO. :**  
660-160-010

**LEGAL DESCRIPTION**  
IN THE CITY OF DESERT HOT SPRINGS, RIVERSIDE  
COUNTY, STATE OF CALIFORNIA, A PORTION OF THE  
S 1/2 OF THE NW 1/4 OF SECTION 30, TOWNSHIP  
3 SOUTH, RANGE 5 EAST, S.B.B. & M

**LAND USE TABLE :**

EXISTING LAND USE	VACANT
PROPOSED LAND USE	COMMERCIAL (MEDICAL)
GROSS ACREAGE 1.2 ACRES=	52,272 SQ. FT.
PROPOSED BUILDING AREA	3,360 SQ. FT. = 6.42%
PROPOSED PARKING AREA	14,800 SQ. FT. = 28.32%
PROPOSED LANDSCAPE AREA	18,800 SQ. FT. = 35.96%
PROPOSED FIRE DEPARTMENT ACCESS IN THE BACK YARD OF THE BUILDING	8,260 SQ. FT. = 15.80%
REMAINING LAND	7,052 SQ. FT. = 13.50%

**PARKING :**

REQUIRED PARKING SPACE	10
PROVIDED ACCESSIBLE PARKING STALL	1
PROVIDED ACCESSIBLE VAN PARKING STALL	1
PROVIDED STANDARD PARKING STALL	21
TOTAL PARKING STALLS PROVIDED	23

**FLOOD ZONE :**

ZONE : A  
COMMUNITY PANEL NO. 060709 2234G  
MAP RIVERSIDE : AUGUST 28, 2008

## UTILITIES :

WATER : PRIVET WELL  
SEWER : PRIVET SEWER (SEPTIC SYSTEM)  
GAS : SOUTHERN CALIFORNIA GAS COMPANY  
ELECTRICITY : SOUTHERN CALIFORNIA EDISON  
TELEPHONE : VERIZON  
CABLE : TIME WARNER

## SCHOOL DISTRICT :

PALM SPRINGS UNIFIED SCHOOL DISTRICT

## SHEET INDEX

SHT. NO.	SHEET TITLE
ARCHITECTURAL DRAWINGS	
C-0.0	COVER SHEET / PROJECT DATA / APPLICABLE CODES/INDEX OF DRAW'GS.
C-1.0	SITE PLAN
A-1.0	FLOOR PLAN
A-1.1	ROOF PLAN
A-2.0	EXTERIOR ELEVATIONS
L-1.0	LANDSCAPE PLANTING PLAN
PH-1	PHOTOMETRIC PLAN
CIVIL ENGINEERING DRAWINGS	
G-01	PRECISE GRADING PLAN COVER SHEET
G-02	PRECISE GRADING PLAN
S-01	STREET IMPROVEMENT PLANS COVER SHEET
S-02	STREET IMPROVEMENT PLANS PAUL ROAD
S-03	STREET IMPROVEMENT PLANS RITA WAY
EC-1	SWPPP EROSION CONTROL PLAN
PM-1D	DUST CONTROL PLAN

CONSULTANT :

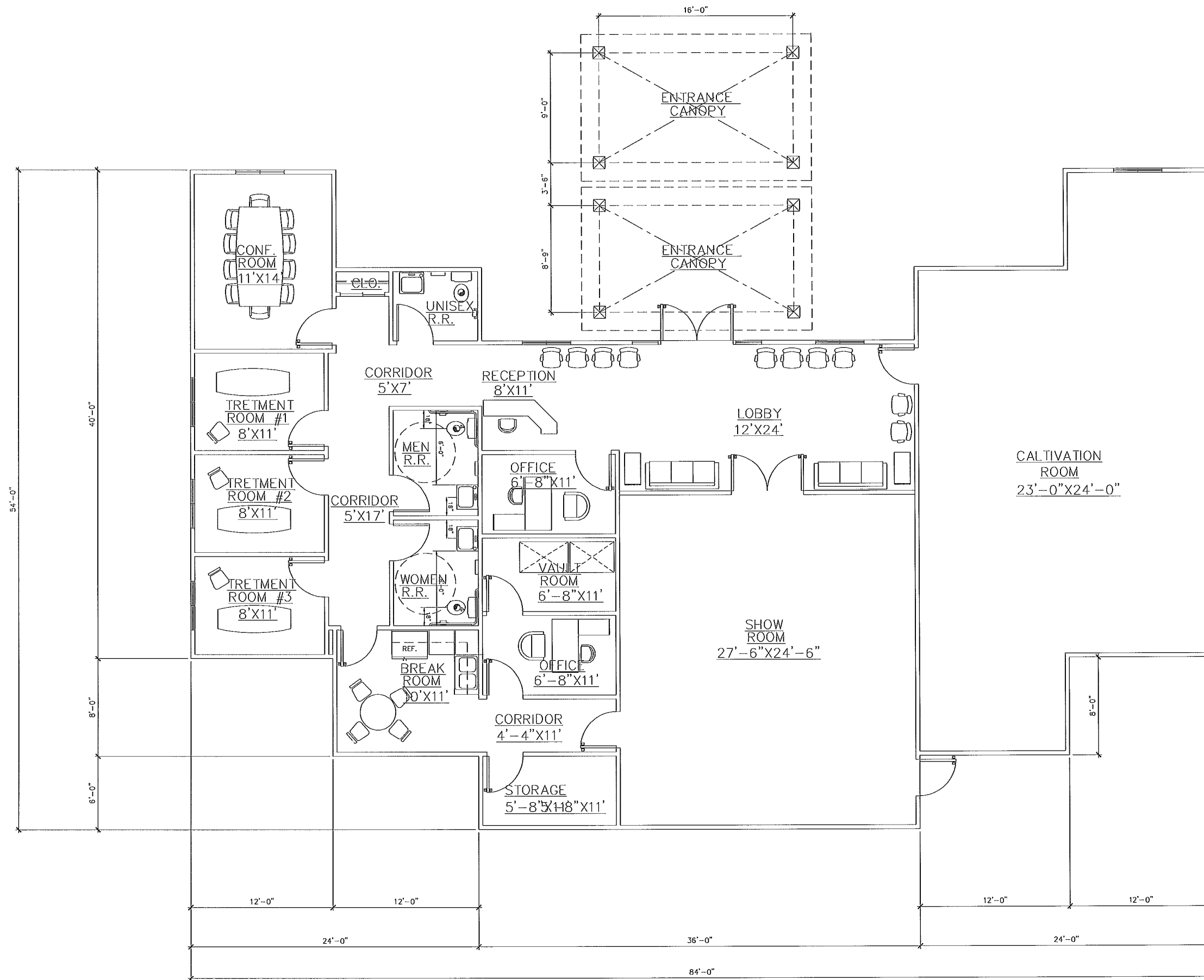


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PHONE ( 949 ) 916-6220 FAX ( 949 ) 916-2728  
EMAIL ADDRESS KAANDA@AOL.COM



PROJECT NO. A-106-2015  
DATE: JUNE / 02 / 2015  
SHEET C-0.0





FLOOR PLAN

SCALE: 1/4" = 1'-0"

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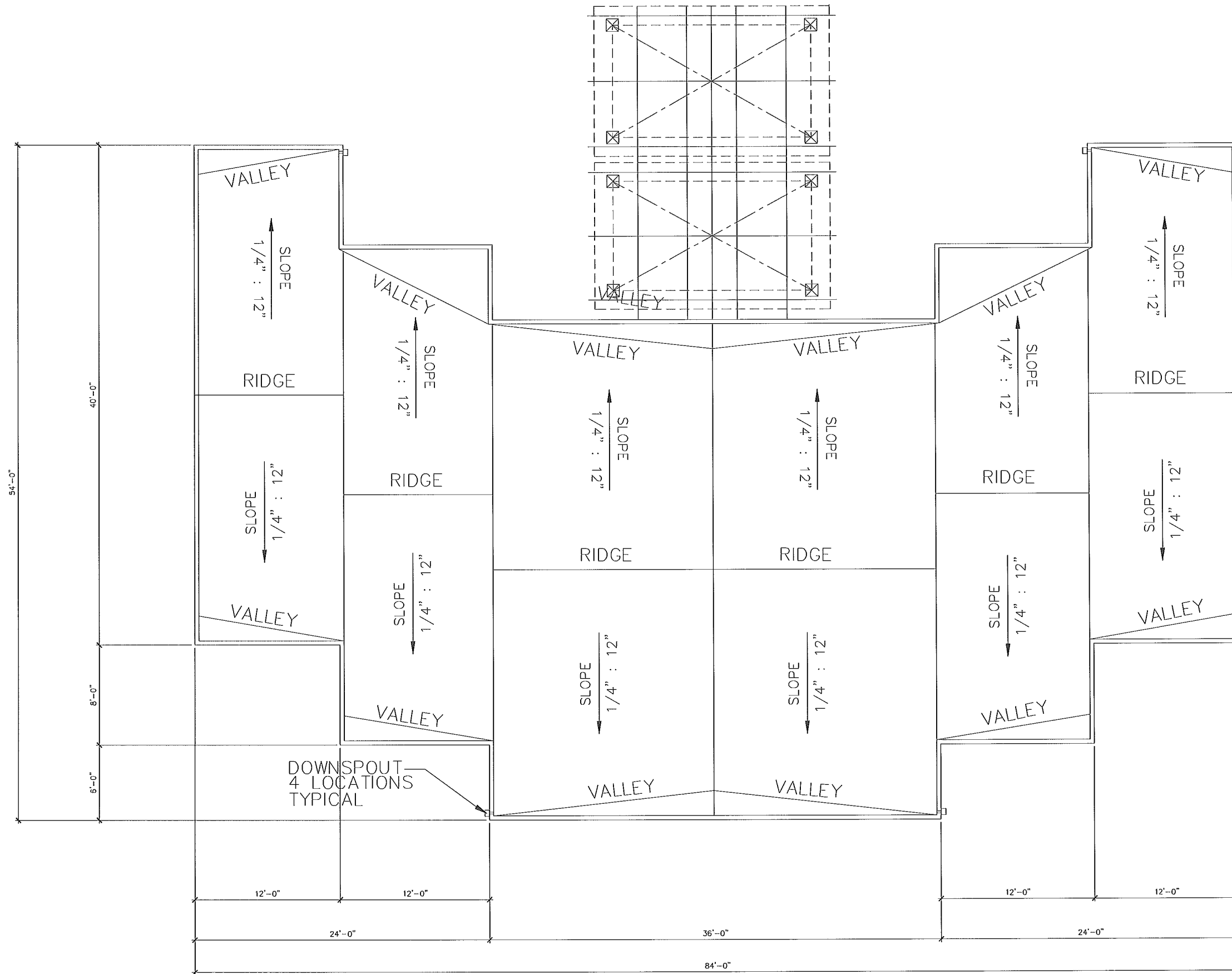


NO.	DATE	BY	DESCRIPTION
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**K&A** ARCHITECTS / PLANNERS  
**KEN AGHAROKH AIA**  
 25471 WAGON WHEEL CIRCLE, LAGUNA HILLS, CA 92653  
 PHONE: (949) 916-6220 FAX: (949) 916-2728  
 E-MAIL: KAANDAS@AOL.COM

ACCUCANNA HEALTH CENTER PROJECT  
 FOR MR. BILLY CONNER  
 DESERT HOT SPRINGS, CALIFORNIA  
 FLOOR PLAN

DATE 06/2/2015  
 SCALE 1/4" = 1'-0"  
 DRAWN BY K.A.  
 CHECKED BY K.A.  
 PROJECT NO. A-106-2015  
 SHEET NO. A-1.0



NOTE ;  
 ROOFING MATERIAL SHALL BE  
 " EPDM ROOFING "

ROOF PLAN

SCALE: 1/4" = 1'-0"

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PLANNERS  
 ARCHITECTS /  
**KEN AGHAROKH AIA**  
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ACCUCANNA HEALTH CENTER PROJECT  
 FOR MR. BILLY CONNER  
 DESERT HOT SPRINGS, CALIFORNIA  
**ROOF PLAN**

DATE 05 / 02 / 2015  
 SCALE 1/4" = 1'-0"  
 DRAWN BY K.A.  
 CHECKED BY K. A.

PROJECT NO.  
 A-106-2015

SHEET NO.  
**A-1.1**

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REVISIONS	
NO.	DESCRIPTION

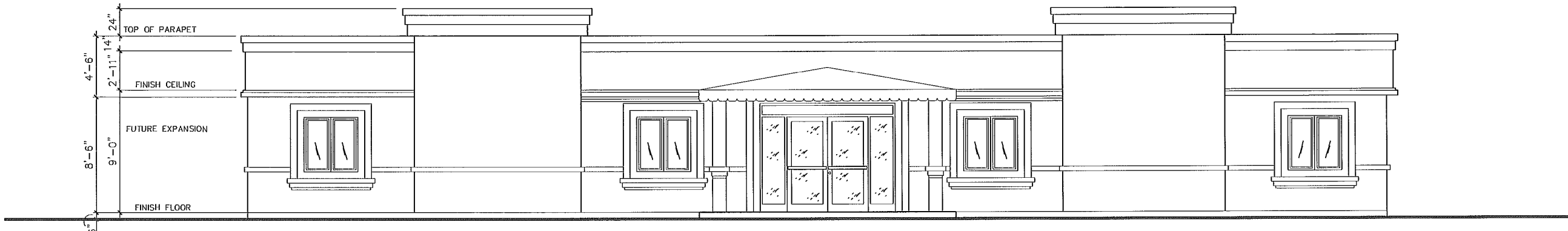
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ACCUCANNA HEALTH CENTER PROJECT  
FOR MR. BILLY CONNER  
DESERT HOT SPRINGS, CALIFORNIA  
EXTERIOR ELEVATIONS

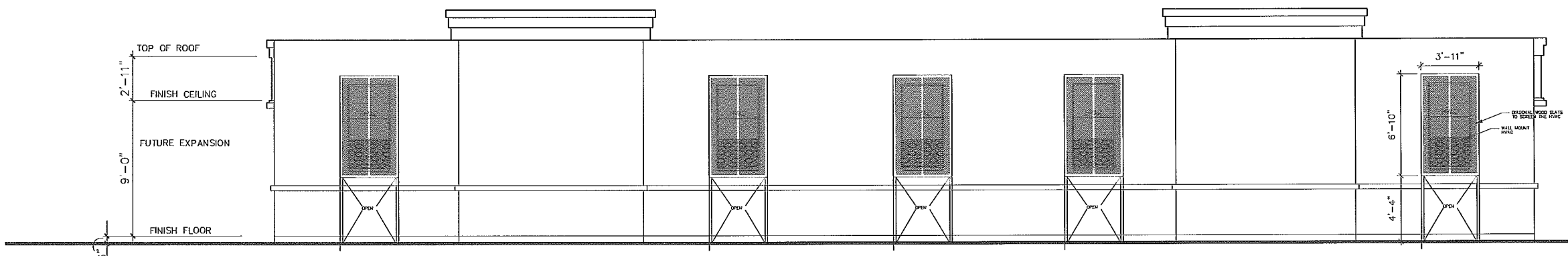
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SCALE 1/4" = 1'-0"  
DRAWN BY K.A.  
CHECKED BY K.A.

PROJECT NO.  
A-106-2015

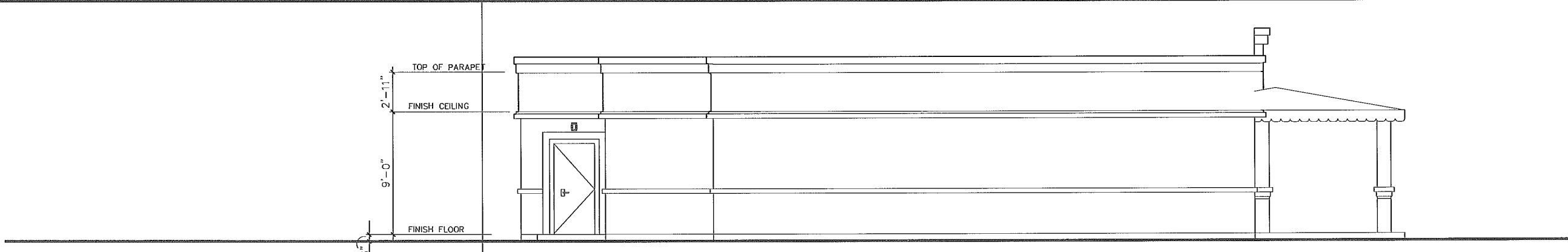
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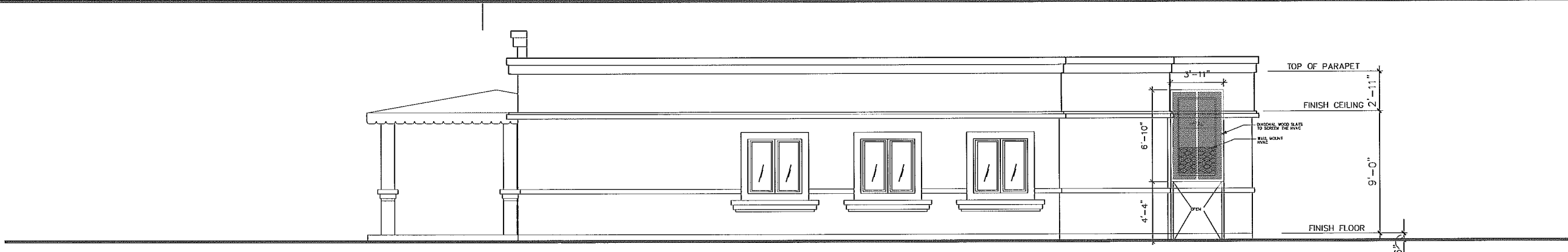
FRONT (EAST) ELEVATION



REAR (WEST) ELEVATION

























LEFT (SOUTH) ELEVATION



SCALE: 1/4" = 1'-0"

PLANT LEGEND

SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QUANTITY	SIZE	REMARKS	WATER USE FACTOR
TREES: ( PER WUCOLS REGION 6)						
	CER 'DM'	CERCIDIUM 'DESERT MUSEUM' / NO COMMON NAME	3	24" BOX	--	PLANT FACTOR 0.3
	CHI LIN	CHILIPSIS LINEARIS / DESERT WILLOW	12	24" BOX	--	
	DRA DRA	DRACAENA DRACO / DRAGON TREE	3	24" BOX	--	
	FRA VEL	FRAXINUS VELUTINA 'RIO GRANDE' / FAN-TEX ASH (STREET TREE - PAUL RD.)	3	24" BOX	--	
	PHO DAC	PHOENIX DACTYLIFERA / DATE PALM	3	24" BOX	--	
	PRO CHI	PROSOPIS CHILENSIS / MESQUITE (STREET TREE - PALM DR.)	4	24" BOX	--	PLANT FACTOR 0.3
	WAS HYB	WASHINGTONIA HYBRIDS / CALIFORNIA FAN PALM	6	24" BOX	--	
SHRUBS: ( PER WUCOLS REGION 6)						
	AGA AME	AGAVE AMERICANA / CENTURY PLANT	10	5 GALLON	--	PLANT FACTOR 0.3
	AGA 'MED'	AGAVE A. 'MEDIOPICTA ALBA' / VARIEGATED CENTURY PLANT	6	5 GALLON	--	
	ALO STR	ALOE STRIATA / CORAL ALOE	20	1 GALLON	--	
	CAE PUL	CAESALPINIA PULCHERRIMA / RED BIRD OF PARADISE	13	5 GALLON	--	
	OAS WHE	DASYLIRION WHEELERI / DESERT SPOON	8	5 GALLON	--	
	HES PAR	HESPERALOE PARVIFLORA / RED YUCCA	55	5 GALLON	--	PLANT FACTOR 0.3
	LEU FRU	LEUCOPHYLLUM FRUTESCENS / TEXAS RANGER	51	5 GALLON	--	
	MUH CAP	MUEHLENBERGIA CAPILLARIS / PINK MUHLY	64	5 GALLON	--	
	MUH RIG	MUEHLENBERGIA RIGENS / DEER GRASS	26	5 GALLON	--	
	PEN SET	PENNISETUM S. 'DWARF RED' / DWARF RED FOUNTAIN GRASS	89	1 GALLON	--	
	RUE PEN	RUELLIA PENINSULARIS / NO COMMON NAME	33	5 GALLON	--	
GROUND COVER: ( PER WUCOLS REGION 6)						
	BOULDERS / COBBLE	SMOOTH GRANITE BOULDERS (2' x 2' to 3' x 4') WITH COBBLE TO MATCH BOULDERS (RANDOM SIZES BETWEEN 2" TO 6" IN DIAMETER). BURY & SET BOULDERS HALF WAY INTO EXISTING GRADE.	19	--	--	PLANT FACTOR 0.3
	D. G.	'DESERT GOLD' DECOMPOSED GRANITE 3/8" MINUS TO BE INSTALLED TO A DEPTH OF 2" IN ALL SHRUB / GROUND COVER PLANTING AREAS.	--	--	--	
	LAN HYB	LANTANA H. 'GOLD RUSH' / YELLOW TRAILING LANTANA FROM 1 GALLON SIZE CONTAINERS SPACED @ 4' O.C.	--	1 GALLON	SEE DETAIL 1", SHEET L-5	
	MYO PAR	MYOPORUM PARVIFOLIUM / PROSTRATE MYOPORUM FROM 1 GALLON SIZE CONTAINERS SPACED @ 4' O.C.	--	1 GALLON	--	

PLANTING NOTES

THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH THE PLANS AND DETAILS.

BEFORE SOIL PREPARATION CONTRACTORS SHALL HAVE A LICENSED SOIL LABORATORY TO ANALYZE THE SITE SOIL IN PLANTING AREAS TO DETERMINE THE AGRICULTURAL SUBSTRATE AND FERTILITY. THE LAB SHALL SUBMIT A WRITTEN REPORT OF THEIR FINDINGS WITHIN 10 BUSINESS DAYS OF THE ANALYSIS. THE SOIL TO THE OWNER AND THE LANDSCAPE ARCHITECT TO BE IMPLEMENTED BY THE CONTRACTOR IN ADDITION TO THE ORIGINAL SOIL PREP WORK.

SOIL PREPARATION AMENDMENTS (PER 1000 SQUARE FEET):

- 4 CUBIC YARDS OF NITROGEN STABILIZED & UNFERTILIZED ORGANIC AMENDMENTS (REDWOOD, PIR OR CEDAR SHAVINGS)
- 50 POUNDS AGRICULTURAL GYPSON
- 100 POUNDS GROUND POWER PHOS

THE REQUIRED SITE SPECIFIC SOILS REPORT AND ITS RECOMMENDATIONS WILL DICTATE THE FINAL SOIL PREPARATION REQUIREMENTS.

CULTIVATE (ROTOTILL) PLANTING AREAS TO A DEPTH OF SIX (6) INCHES WITH THE REQUIRED SOIL PREPARATION AMENDMENTS. VET THOROUGHLY AND ALLOW TO SETTLE. REPEAT THIS PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO HOLD A UNIFORM AND SMOOTH CONSISTENCY TO ALLOW FOR DRIVING AND CARPENTRY. DO NOT ROTOTILL SLOPED AREAS THAT ARE OVER A 3:1 GRADE.

FOR WEED CONTROL, CONTINUE TO FERTIGATE THOROUGHLY FOR A PERIOD OF TWO TO THREE WEEKS OR UNTIL TREATED SEEDS HAVE GERMINATED. WHEN THERE IS SUFFICIENT WEED SEED GERMINATION, THE CONTRACTOR SHALL APPLY A POST-EMERGENT WEED KILLER, ACCORDING TO THE DIRECTIONS OF A LICENSED PEST CONTROL APPLICATOR. THE CONTRACTOR SHALL THEN WAIT AN ADDITIONAL ONE WEEK TO ALLOW THE WEED KILLER TO DISSEMPER PRIOR TO PLANTING.

- BRICKFILL 1/4" FOR TREE AND SHRUB PLANTING: PER CUBIC YARD:
  - 20 CUBIC YARDS ON SITE SOIL
  - 10 CUBIC YARDS ORGANIC AMENDMENT (REDWOOD SHAVINGS)
  - 1 POUND IRON SULFATE (FOR IRON AND SULFUR)
  - 2 POUNDS 6-20-20 COMMERICAL FERTILIZER
  - 10 POUNDS GROUND POWER PHOS

PROVIDE GROUND COVER PLANTING TABLETS (7 & 21 GRAINS) IN EACH PLANTING PIT AS FOLLOWS:

- (1) ONE TABLET (7 GRAINS) FOR EACH 4" POT & GROUND COVER
- (1) ONE TABLET (21 GRAINS) FOR EACH 1 GALLON CONTAINER
- (3) THREE TABLETS (63 GRAINS) FOR EACH 5 GALLON CONTAINER
- (5) FIVE TABLETS (105 GRAINS) FOR EACH 15 GALLON CONTAINER
- (4) FOUR TABLETS (84 GRAINS) FOR EACH 1/2" OF CALIPER MEASURED 1/4" ABOVE SOIL LEVEL FOR LARGER SIZES

REMOVE STAKES AND TRELLIS FROM VINES AND SPARKERS AND SECURE TO WALLS, FENCES AND POSTS AS PER DETAIL.

GROUND COVERS SHALL EXTEND BENEATH ALL TREES AND SHRUBS IN PLANTER AREAS WITH GROUND COVERS INDICATED.

NOTE: WHENEVER NEW TREES ARE LOCATED WITHIN FIVE (5) FT. OF ANY CONCRETE WALK, CURB, WALL OR BUILDING, THEY MUST BE PLACED WITHIN A LINER ROOT BARRIER. THE PREFERRED BARRIER IS 1/4" (1/8" THICK) BLACK POLYETHYLENE MATERIAL PLACED ALONG THE SIDE OF THE WALK, CURB, BUILDING ETC., TWENTY FOUR (24) INCHES DEEP AND A LENGTH OF TEN FEET CENTERED ON THE TREE.

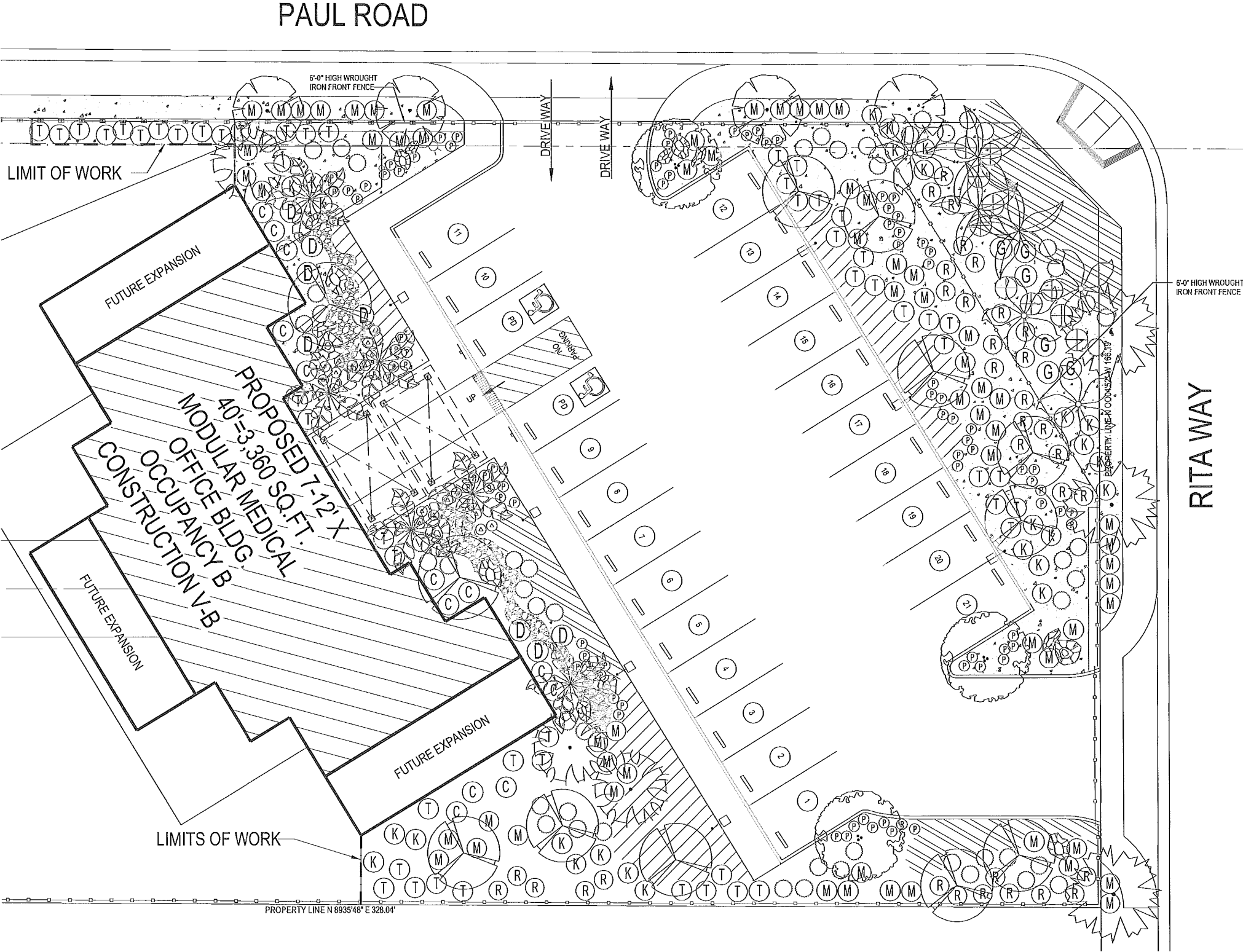
NURSERY STANDARD NOTES:

ALL PLANT MATERIALS DELIVERED TO THE SITE SHALL CONFORM WITH THE CURRENT NURSERY INDUSTRY STANDARDS, THAT INCLUDES AND IS NOT LIMITED TO HEAVY PRUNING, TOPPING AND SPRAY HORMON EVIDENT ON ANY SPECIEN TREES AND FOR PALMS.

SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM WITH THE CURRENT NURSERY INDUSTRY STANDARDS. MATERIALS NOT IN COMPLIANCE WITH THESE SAID STANDARDS SHALL BE DEEMED UNACCEPTABLE AND WILL BE REPLACED WITH MATERIALS THAT ARE.

THE SIZE OF THE MATERIAL SHALL BE IN PROPORTION WITH THE RESPECTIVE CONTAINER SIZE. PLANT MATERIAL THAT DOES NOT FILL THE CONTAINER (WHY REASON) IS TO BE REPLACED WITH MATERIAL THAT MEET THE INDUSTRY STANDARDS.

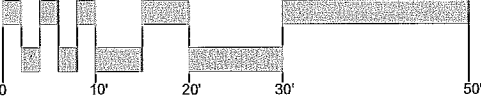
PLANT MATERIAL THAT IS OVERGROWN AND ROOT-BOLTED IS NOT ACCEPTABLE AND WILL BE RETURNED.



PLANTING PLAN



SCALE: 1" = 10'



Studio Five  
LANDSCAPE ARCHITECTURE PLANNING

470 WALD  
IRVINE, CA 92618-4610

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KZ #24328 CA #1469 CO #512 NV #223

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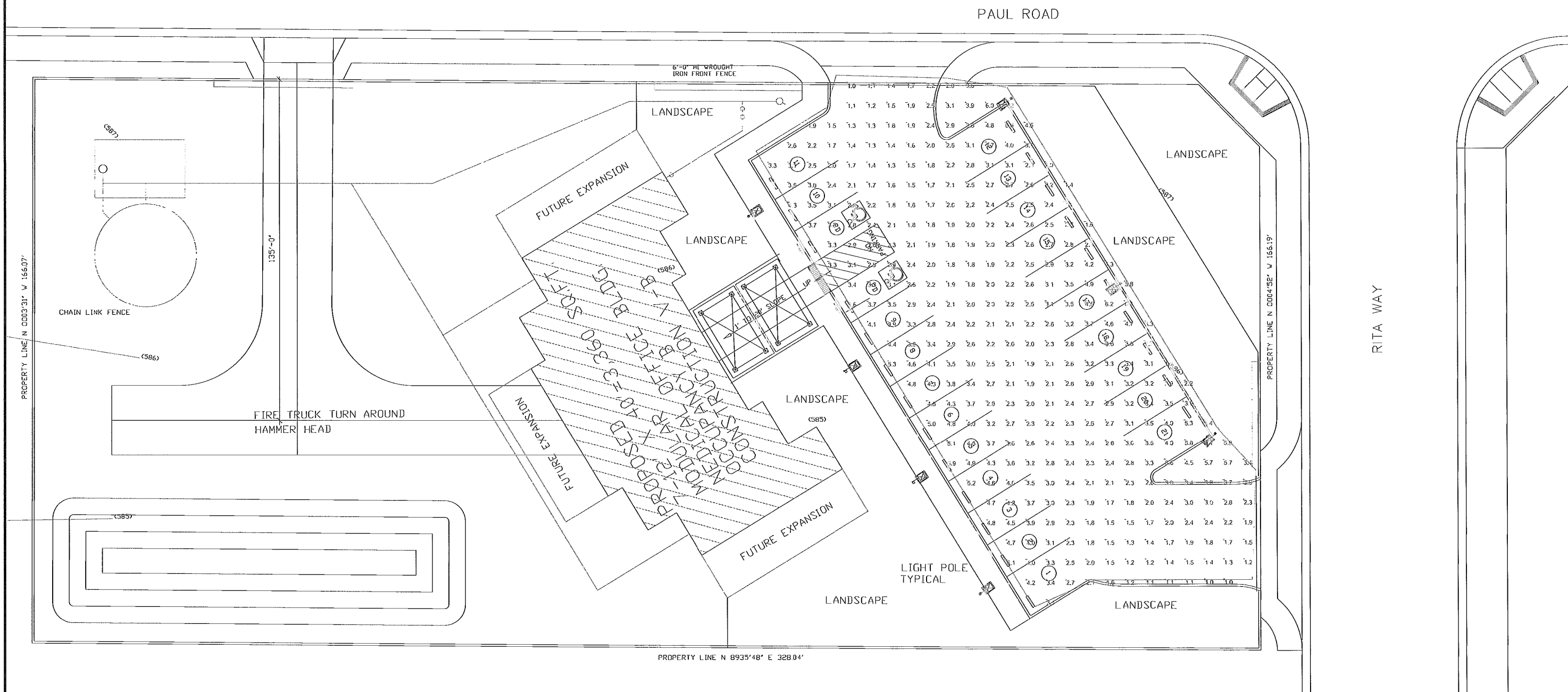
FILE: #15-2041

MR. WILLIAM CONNER'S MEDICAL OFFICE,  
CULTIVATION & SALE OF MARIJUANA BUILDING

DATE: 6/18/2015  
SCALE: 1"=10'  
DRAWN BY: JKS  
CHECKED BY: KAY

PROJECT NO.  
A-106-20

SHEET NO.  
L-1.



Luminaire Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	7	Lithonia Lighting	DSX2 LED 80C 700 40K T4M MVOLT @ 17.5' MTG (15' POLE + 2.5' BASE)	DSX2 LED W4 (20) LED LIGHT ENGINES, (2) 700mA DRIVERS, 4000K LED, TYPE T4M OPTICS	LED	1	DSX2_LED_80C_700_40_K_T4M_MVOLT.lvs	18724.05	0.9	183

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PARKING		2.8 fc	8.1 fc	1.0 fc	8.1:1	2.8:1	0.3:1

Plan View  
Scale - 1" = 20'

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REVISIONS	
NO.	DESCRIPTION
1	
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3	
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5	

K&A  
ARCHITECTS / PLANNERS  
KEN AGHAROKH AIA

MR. WILLIAM CONNER'S MEDICAL OFFICE,  
CULTIVATION & SALE OF MARIJUANA BUILDING  
DESERT HOT SPRINGS, CALIFORNIA

DATE 03 / 18  
SCALE 1" = 20'  
DRAWN BY  
CHECKED BY

PROJECT  
A-106-2

SHEET NO.  
PH-



IN THE CITY OF DESERT HOT SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

# ACCUCANNA HEALTH CENTER PRECISE GRADING PLAN

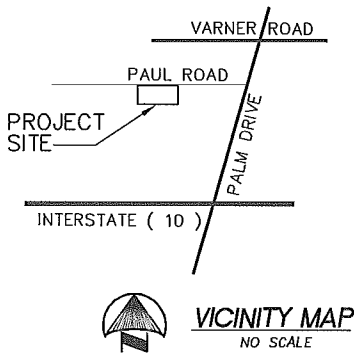
IN A PORTION OF THE SOUTH 1/2 OF SEC. 30, T3S, R5E, S.B.M.

## PM10 DUST MITIGATION NOTES:

- ENTIRE SITE SHALL BE PRE-WATERED WITH RAIN BIRD TYPE SPRINKLERS.
- BLOWING DUST SHALL BE CONTROLLED BY WATERING DURING CONSTRUCTION AND ON WEEKENDS AS NECESSARY.
- LANDSCAPING SHALL BE INSTALLED AS SOON AS PRACTICAL, AND DUST SHALL BE CONTROLLED BY WATERING UNTIL SUCH TIME THAT LANDSCAPING IS INSTALLED.
- THE DEVELOPER SHALL MAINTAIN RECORDS TO DOCUMENT THE DATES OF ACTIVE OPERATIONS, ALL APPLICABLE FUGITIVE DUST SOURCE TYPES, AND ACTIONS TAKEN. THESE RECORDS SHALL BE RETAINED FOR A PERIOD OF AT LEAST SIX MONTHS AND THESE RECORDS SHALL BE AVAILABLE TO THE COUNTY OF RIVERSIDE DEPARTMENT OF BUILDING AND SAFETY UPON REQUEST.
- THE DEVELOPER SHALL PREVENT THE EMISSIONS OF VISIBLE DUST IN THE ATMOSPHERE BEYOND THE PROJECT BOUNDARY.
- ON THE LAST DAY OF A ACTIVE OPERATIONS PRIOR TO A WEEKEND, HOLIDAY, OR OTHER PERIOD WHEN ACTIVE OPERATIONS WILL OCCUR FOR NOT MORE THAN FOUR (4) CONSECUTIVE DAYS: APPLY WATER WITH A MIXTURE OF CHEMICAL STABILIZER DILUTED TO NOT LESS THAN 1/20TH OF THE CONCENTRATION REQUIRED TO MAINTAIN A STABILIZED SURFACE FOR A PERIOD OF SIX (6) MONTHS.
- ACCEPTABLE CHEMICAL STABILIZERS:  
SOIL CEMENT/MIDWEST INDUSTRIAL SUPPLY-1-800-321-0699/EMMCKLEEN/MIDWEST INDUSTRIAL SUPPLY-1-800-321-0699/MAGNESIUM CHLORIDE/LEE CHEMICAL, INC.1-909-369-5292/CALCIUM CHLORIDE/LEE CHEMICAL, INC.1-909-369-5292/ARENAK (HORSE ARENAS)/MIDWEST INDUSTRIAL SUPPLY-1-800-321-0699  
8. HIGH WIND MEASURES (25MPH OR GREATER)  
A) CEASE ALL ACTIVE OPERATIONS; OR  
B) APPLY WATER WITHIN 15 MINUTES TO ANY SOIL SURFACE WHICH IS BEING MOVED OR OTHERWISE DISTURBED.
- PM10 MEASURES MUST BE IMPLEMENTED DURING ALL ASPECTS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO GRADING, EXCAVATION OF FOOTINGS, TRENCHING AND BACK FILL FOR UNDERGROUND UTILITIES, TEMPORARY STOCKPILES, AND BUILDING CONSTRUCTION ACTIVITIES.
- ALL TRACK OUT DIRT MUST BE REMOVED FROM STREETS

## GENERAL PAVING NOTES:

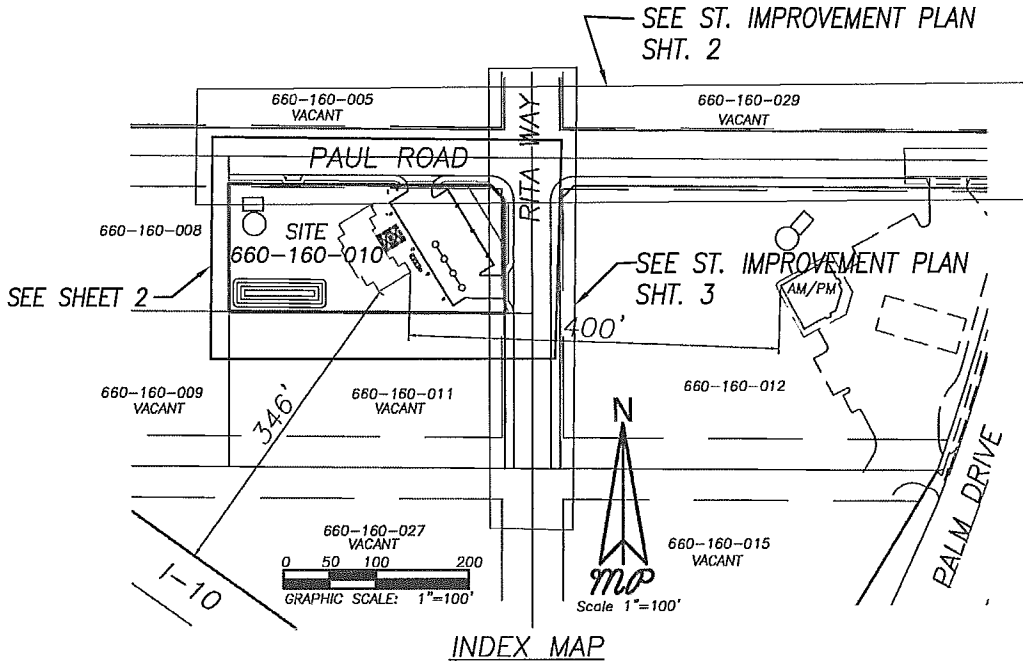
- ALL UNDERGROUND FACILITIES, WITH LATERALS, SHALL BE IN PLACE PRIOR TO PAVING, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: SEWER, WATER, ELECTRIC, GAS, STORM DRAINS.
- ALL CONCRETE CURBS, GUTTER, AND PERIMETER STRUCTURES OR HEADERS SHALL BE IN PLACE PRIOR TO PAVING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR DEVELOPER TO INSTALL AND MAINTAIN ALL CONSTRUCTION REGULATORY, GUIDE AND WARNING SIGNS WITHIN THE PROJECT LIMITS AND ITS SURROUNDING TO PROVIDE SAFE PASSAGE FOR THE TRAVELING PUBLIC AND WORKERS UNTIL THE FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT BY THE CITY OF DESERT HOT SPRINGS.
- ALL PAVING AND BASE SECTIONS ARE TENTATIVE. ADDITIONAL SOILS TESTS SHALL BE TAKEN BY THE DEVELOPER/OWNER AFTER ROUGH GRADING TO DETERMINE THE EXACT STRUCTURAL SECTION REQUIREMENTS, USE RIVERSIDE COUNTY STANDARD NO. 401 IF EXPANSIVE SOILS ARE ENCOUNTERED.
- ASPHALTIC EMULSION (FOG SEAL) SHALL BE APPLIED NOT LESS THAN FOURTEEN DAYS FOLLOWING PLACEMENT OF THE ASPHALTIC SURFACING. FOG SEAL AND PAINT BINDER SHALL BE APPLIED AT A RATE OF 0.05 AND 0.03 GALLON PER SQUARE YARD RESPECTIVELY. ASPHALTIC EMULSION SHALL CONFORM TO SECTION 39 OF THE STATE STANDARD SPECIFICATIONS.
- PRIME COAT IS REQUIRED PRIOR TO PAVING ON ALL GRADES IN EXCESS OF TEN PERCENT.
- TO IMPROVE TRAFFIC SAFETY ON THE ROADS UNDER THE JURISDICTION OF THE DEVELOPER, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ADDITIONAL SIGNS AND MARKINGS NOT SHOWN HEREON, OR ON ROADWAYS ADJACENT TO THE PROJECT BOUNDARIES, UPON THE REQUEST OF THE CITY INSPECTOR OR HIS DESIGNEE TO IMPROVE TRAFFIC SAFETY ON THE ROADS UNDER THE JURISDICTION OF THE DEVELOPER.
- AN APPROVED SOIL STERILIZER SHALL BE USED ON ALL SUBGRADE SURFACES PRIOR TO PLACEMENT OF PAVING.
- WHENEVER A CONSTRUCTION SITE IS WITHIN ONE-QUARTER (1/4) OF A MILE OF AN OCCUPIED RESIDENCE, NO CONSTRUCTION ACTIVITIES SHALL BE UNDERTAKEN BETWEEN THE HOURS OF 6:00 PM AND 6:00 AM DURING THE MONTHS OF JUNE THROUGH SEPTEMBER AND BETWEEN THE HOURS OF 6:00 PM AND 7:00 AM DURING THE MONTHS OF OCTOBER THROUGH MAY. EXCEPTIONS TO THESE STANDARDS SHALL BE ALLOWED ONLY WITH THE WRITTEN CONSENT OF THE CITY ENGINEER.



## PRIVATE ENGINEER'S NOTE TO CONTRACTOR

The existence and location of any underground utility pipes, conduits or structures shown on these plans are obtained by a search of the available records. To the best of our knowledge there are no existing utilities except as shown on these plans. The contractor is required to take due precautionary measures to protect the utility lines shown on these drawings. The contractor further assumes all liability and responsibility for the utility pipes, conduits or structures shown or not shown on these drawings.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the safe negligence of design professional.



GEOTECHNICAL APPROVAL: SLADDEN ENGINEERING

BRETT L. ANDERSON C45389, EXP. 9-30-2016 DATE

## NOTIFICATIONS:

- THE CONTRACTOR IS REQUIRED TO NOTIFY THE EXISTING ORGANIZATIONS IN THE AREA BEFORE THE START OF ANY WORK. THE UTILITIES IN THE AREA ARE:

CITY STREETS	CITY OF DESERT HOT SPRINGS (760) 329-6411
WATER/SEWER	PRIVATE SYSTEMS CDACHELLA VALLEY WATER DISTRICT (NO CURRENT SERVICE AVAILABLE) (760) XXX-XXXX
COUNTY ROADS	RIVERSIDE COUNTY TRANSPORTATION DEPARTMENT (760) 863-8267
ELECTRICITY	EDISON INTERNATIONAL (818) 655-4555
GAS	SOUTHERN CALIFORNIA GAS (909) 335-7729
TELEPHONE	VERIZON (760) 864-1715
CABLE TV	TIME-WARNER (760) 340-1312
FLOOD CONTROL	RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT (909) 955-1200
UNDERGROUND	UTILITIES UNDERGROUND SERVICE ALERT 811

## CONSTRUCTION NOTES AND QUANTITIES

	QUANTITY	UNIT
① CONSTRUCT 3" A.C. OVER 4" CMB	7,668	S.F.
② CONSTRUCT 6" CURB AND GUTTER PER CITY STD. NO. 200	130	L.F.
③ CONSTRUCT 4" SIDEWALK PER CITY STD. NO. 401	1,654	S.F.
④ CONSTRUCT ADA CURB RAMP	2	E.A.
⑤ CONSTRUCT 6" CURB PER CITY STD. NO. 204	256	L.F.
⑥ CONSTRUCT 4" GRAVEL DRIVEWAY	1,309	S.F.
⑦ CONSTRUCT FACING GRADE RIP RAP VELOCITY REDUCER	84	S.F.
⑧ CONSTRUCT 3' WIDE VEGETATED SWALE	408	S.F.
⑨ CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLANS	1	E.A.
⑩ FURNISH AND INSTALL PARKING LOT LIGHTS PER ARCHITECTURAL PLANS	7	E.A.
⑪ INSTALL ADA PARKING SIGNS AND MARKINGS PER ARCHITECTURAL PLANS	2	E.A.
⑫ FURNISH & INSTALL 6" WROUGHT IRON FENCE	760	L.F.
⑬ FURNISH & INSTALL 6" WROUGHT IRON ROLLING GATE ASSEMBLY	3	E.A.

NOTE: THE QUANTITIES SHOWN ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN HIS OWN ESTIMATE FOR BID PURPOSES.

## LEGEND

CF — CURB FACE	— FW — PROPOSED FIRE WATER LINE
FG — FINISH GROUND	— W — PROPOSED WATER LINE
C&G — CURB AND GUTTER	— S — PROPOSED SEWER LINE
FS — FINISH SURFACE CONC. OR AC	— — — — — PROPERTY LINE
TC — TOP OF CURB	—+—+—+— EDGE EXISTING PAVEMENT
FL — FLOW LINE	— — — — — CURB AND GUTTER
TOE — TOE OF SLOPE	○ — PROPOSED STREET LIGHT
TOP — TOP OF SLOPE	— — — — — STREET SIGN
FF — FINISH FLOOR	— C — CENTERLINE
GB — GRADE BREAK	— C1/L1 — CURVE OR LINE DATA SYMBOL
HP — HIGH POINT	② — CONSTRUCTION NOTE SYMBOL
R/W — RIGHT OF WAY	— — — — — NEW ASPHALT CONCRETE
AC — ASPHALT CONCRETE	— — — — — GRAVEL DRIVE
EG — EXISTING GROUND	— — — — — RIP RAP VELOCITY REDUCER
S/W — SIDEWALK	— — — — — BLOCK WALL
	— — — — — CONCRETE S/W

## GENERAL GRADING NOTES:

- ALL GRADING AND RELATED IMPROVEMENTS SHALL CONFORM TO THE FOLLOWING, AS APPROPRIATE:  
A) UNIFORM BUILDING CODE, CURRENTLY ADOPTED EDITION.  
B) CITY OF DESERT HOT SPRINGS ORDINANCE 92-2.  
C) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK), 2000 EDITION.  
D) AMERICANS WITH DISABILITIES ACT.  
E) NPDES PERMIT
- ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT ANY CONSTRUCTION / GRADING.
- DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL SHOULD BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO ADJACENT PROPERTIES.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.
- MAXIMUM CUT AND FILL SLOPE = 2:1
- STABILITY CALCULATIONS WITH A FACTOR OF SAFETY OF AT LEAST ONE AND FIVE TENTH (1.5) SHALL BE SUBMITTED BY A SOILS ENGINEER TO THE BUILDING AND SAFETY DEPARTMENT FOR CUT AND FILL SLOPES OVER 30' IN VERTICAL HEIGHT.
- PROVIDE 2' WIDE BY 0.5' HIGH BERM OR EQUIVALENT ALONG THE TOP OF ALL SLOPES.
- PROVIDE A BROW DITCH, DESIGNED TO HANDLE 100 YR Q STORM FLOWS, ALONG THE TOP OF CUT SLOPES.
- MINIMUM BUILDING PAD AND DRAINAGE SWALE SLOPE SHALL BE = 1% IF CUT OR FILL IS LESS THAN 10', 2% IF CUT OR FILL IS GREATER THAN 10'. DRAINAGE SWALES SHALL BE A MINIMUM OF 0.2' DEEP AND BE CONSTRUCTED A MINIMUM OF 2' FROM THE TOP OF CUT OR FILL SLOPES.
- NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATER COURSES SHALL BE PERMITTED.
- ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION, ESPECIALLY DURING STORM CONDITIONS. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJACENT PROPERTIES DURING GRADING OPERATIONS.
- FINISH GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR WALLS AT NOT LESS THAN 1/2" PER FOOT FOR A MINIMUM OF 3'.
- CUT AND FILL SLOPES EQUAL TO OR GREATER THAN 3' IN VERTICAL HEIGHT SHALL BE PLANTED WITH GRASS OR GROUND COVER TO PROTECT THE SLOPE FROM EROSION AND INSTABILITY IN ACCORDANCE WITH RIVERSIDE COUNTY ORDINANCE NO. 457 PRIOR TO FINAL GRADING INSPECTION.
- EROSION CONTROL: ALL SLOPES REQUIRED TO BE PLANTED SHALL BE PROVIDED WITH ROSEA ICE PLANT (OR EQUAL) GROUND COVER AT 12" ON CENTER. SLOPES EXCEEDING 15' IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED TREES SPACED NOT TO EXCEED 20' ON CENTER OR SHRUBS NOT TO EXCEED 10', OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO A GRASS MIX OR GROUND COVER. SLOPES EXCEEDING 4' IN VERTICAL HEIGHT SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM. SLOPES EQUAL TO OR LESS THAN 4', MAY BE IRRIGATED BY HOSE BIB LOCATED AT THE TOP OR TOE OF THE SLOPE, SPACED TO MAKE USE OF A HOSE NO LONGER THAN 50' IN LENGTH. THE IRRIGATION SYSTEM SHALL BE PROVIDED WITH AN APPROPRIATE BACKFLOW DEVICE PER U.P.C., CHAPTER 10.
- ALL GRADING SHALL BE DONE IN CONFORMANCE WITH RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION BY SLADDEN ENGINEERING DATED FEBRUARY 27, 2004. TWO SETS OF THE FINAL COMPACTION REPORT SHALL BE SUBMITTED TO THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT. THE REPORT SHALL INCLUDE FOUNDATION DESIGN RECOMMENDATIONS AND CERTIFICATION THAT GRADING HAS BEEN DONE IN CONFORMANCE WITH RECOMMENDATIONS OF THE SOILS INVESTIGATION REPORT.
- IF STEEP SLOPING TERRAIN OCCURS UPON WHICH FILL IS TO BE PLACED, IT MUST BE CLEARED, KEYED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. PREPARATION MUST BE APPROVED BY A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL PRIOR TO PLACEMENT OF FILL MATERIAL.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A COMPETENT SOILS ENGINEER WHO SHALL CERTIFY THAT ALL FILL HAS BEEN PROPERLY PLACED AND WHO SHALL SUBMIT A FINAL COMPACTION REPORT FOR ALL FILLS OVER 1' DEEP.
- FINAL COMPACTION REPORT WILL BE REQUIRED FOR ALL FILLS GREATER THAN 1'.
- A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT WRITTEN CERTIFICATION OF COMPLETION OF ROUGH GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO REQUESTING INSPECTION AND ISSUANCE OF THE BUILDING PERMIT. CERTIFICATION SHALL INCLUDE LINE, GRADE, ELEVATION AND LOCATION OF CUT/FILL SLOPES.
- A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION, WHERE SPECIFIC ELEVATIONS ARE REQUIRED, THE ELEVATION (WITH RESPECT TO MEAN SEA LEVEL) SHALL BE GIVEN, IF AN ELEVATION WITH RESPECT TO ADJACENT GROUND SURFACE IS REQUIRED, THE ACTUAL DISTANCE ABOVE THE ADJACENT GROUND SHALL BE GIVEN.
- A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL ENGINEER SHALL SUBMIT TO THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT WRITTEN CERTIFICATION OF FINAL GRADING IN ACCORDANCE WITH THE APPROVED PLAN FOR ALL GRADING DESIGNATED AS "ENGINEERED GRADING".
- THE CONTRACTOR SHALL NOTIFY THE CITY BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF REQUESTING FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SAFETY SERVICE ALERT AT 1-800-227-2800 TWO DAYS BEFORE DIG. ALSO CONTRACTOR SHALL NOTIFY THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT AT (760) 329-6411 AT LEAST 24 HOURS IN ADVANCE OF REQUESTING FINISH LOT GRADING AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. SUBJECT TO PROVISIONS OF SECTION 4215 OF THE CALIFORNIA GOVERNMENT CODE, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
- CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE PROVIDED ON ALL PROJECTS AS REQUIRED BY THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT, OR AS DIRECTED BY THE CITY ENGINEER. AS A MINIMUM, ALL CONSTRUCTION SIGNING, LIGHTING AND BARRICADING ON CITY-OWNED PARCELS OR PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES", IN EFFECT DURING THE TIME OF THE WORK.
- EVIDENCE OF NPDES AND PM10 PERMIT, IF REQUIRED, SHALL BE SUBMITTED TO BUILDING AND SAFETY DEPARTMENT PRIOR TO ISSUANCE OF THE GRADING PERMIT.

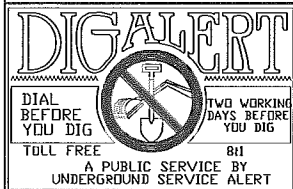
NOTE: ROUGH GRADING QUANTITIES INCLUDE ROUGH GRADING WORK FOR THE STREET IMPROVEMENTS AND CONTRACTOR SHALL INCLUDE THAT WORK IN HIS SCOPE OF WORK AND BID FOR THIS PROJECT.

EARTHWORK QUANTITY	
CUT :	385 C.Y.
FILL :	750 C.Y.
IMPORT:	366 C.Y.

NOTE: THE QUANTITIES SHOWN ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE TO OBTAIN HIS OWN ESTIMATE FOR BID PURPOSES

## SHEET INDEX

SHT.	DESCRIPTION
1	COVER SHEET
2	GRADING SHEET
3	PM-10 PLAN
4	EROSION CONTROL



**BASIS OF BEARINGS:** THE BASIS OF BEARINGS FOR THESE PLANS IS THE SOUTH LINE OF GOVERNMENT LOTS 17 & 18, BEING THE CENTERLINE OF PAUL ROAD, BEARING NORTH 89° 37' 02" WEST PER RS 101/79

**BENCH MARK:** RIVERSIDE COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT, BENCH MARK NO. 23, LOCATED AT THE CENTER 1/4 CORNER OF SECTION 30, T-3-S, R-5-E, SBM ELEVATION: 578.85

## REVISIONS:

NO.	DESCRIPTION	BY	DATE

**LAND DEVELOPMENT DESIGN COMPANY, LLC** PLANNING • CIVIL • SURVEYING  
PREPARED UNDER THE DIRECT SUPERVISION OF:  
DATE KEVIN J. RICHER RCE 43714 EXP. 4/31/17

2313 E. Philadelphia St., Ste. F  
Ontario, CA 91761  
(909) 930-1466 • FAX (909) 930-1468



## RECOMMENDED FOR APPROVAL:

DATE: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

INTERIM CITY ENGINEER  
R.C.E. NO 16742 EXPIRES 08-30-17  
RICHARD L. KOPECKY

**Michael Platt Consulting**  
12379 PALM DRIVE, SUITE 3  
PHONE: (760) 250-6265  
EMAIL: mplatconsulting@gmail.com

SCALE: AS SHOWN  
PLDT DATE: \_\_\_\_\_  
DESIGN BY: M.P.  
DRAWN BY: M.P.  
CHECKED BY: K.R.

**CITY OF DESERT HOT SPRINGS**  
**ACCUCANNA HEALTH CENTER**  
**PRECISE GRADING PLAN**  
**COVER SHEET**  
SECTION 30, TOWNSHIP 3 SOUTH, RANGE 5 EAST, S.B.M.  
W.O. 660160008 FOR: DWG.

1 OF 4  
FILE NO.