

ACCUCANNA HEALTH CENTER

FOR

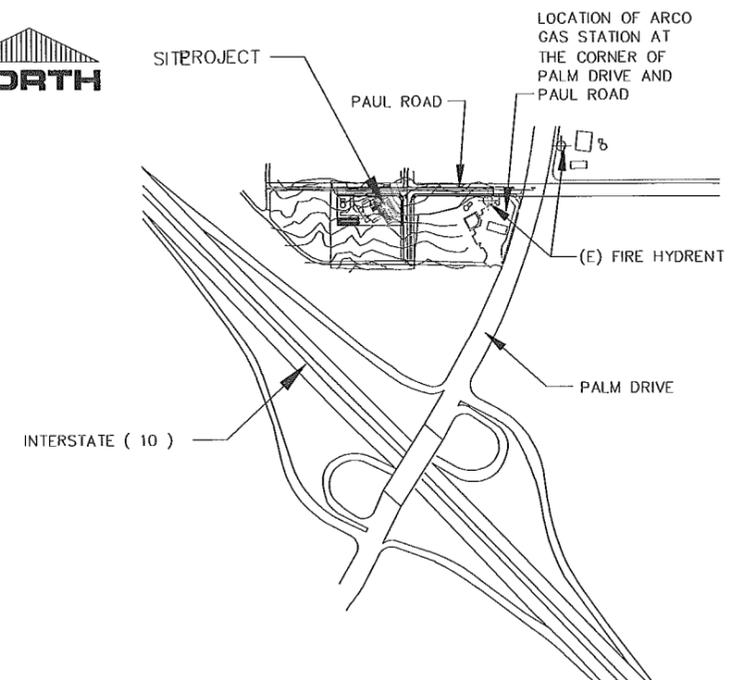
MR. BILLY CONNER

AT

PAUL ROAD

CITY OF DESERT HOT SPRINGS

TEL: (323) 361-8955



VICINITY MAP / KEY PLAN

APPLICABLE CODES	PROJECT TEAM	PROJECT DATA	SITE ANALYSIS	UTILITIES :	SHEET INDEX																																																												
<p>2013 CALIFORNIA ADMINISTRATIVE CODE (CAC) (CAC) (PART 1, TITLE 24, CCR)</p> <p>2013 CALIFORNIA BUILDING CODE (CBC) VOLUM 1, AND 2, (PART 2, TITLE 24, CCR) (2009 EDITION INTERNATIONAL BUILDING CODE WITH 2010 CALIFORNIA AMENDMENTS)</p> <p>2013 CALIFORNIA ELECTRICAL CODE (PART 3, TITLE 24, CCR) (2008 EDITION NATIONAL ELECTRICAL CODE WITH 2010 CALIFORNIA AMENDMENTS)</p> <p>2013 CALIFORNIA MECHANICAL CODE (CMC) (PART 4, TITLE 24, CCR) (2009 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2010 CALIFORNIA AMENDMENTS)</p> <p>2013 CALIFORNIA PLUMBING CODE (CPC) (PART 5, TITLE 24, CCR) (2009 EDITION IAPMO UNIFORM PLUMBING CODE WITH 2010 CALIFORNIA AMENDMENTS)</p> <p>2013 CALIFORNIA ENERGY CODE (PART 6, TITLE 24, CCR) (2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARD)</p> <p>2013 CALIFORNIA FIRE CODE (CFC) (PART 9, TITLE 24, CCR) (2009 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS)</p> <p>2013 CALIFORNIA GREEN CODE (PART 11, TITLE 24, CCR)</p> <p>2013 CALIFORNIA REFERENCED STANDARDS CODE (PART 12, TITLE 24, CCR) NFPA 13 -2013 NFPA 72 -2013</p>	<p>PROJECT OWNER : MR. WILLIAM CONNER 2496 BAYSIDE WALK SAN DIEGO, CA 92109 PHONE: (619) 846-9222</p> <p>ARCHITECT : KEN AGHAROKH AND ASSOCIATES 25471 WAGON WHEEL CIRCLE LAGUNA HILLS, CA 92653 PHONE: (949) 916-6220</p> <p>STRUCTURAL ENGINEER : EXL STRUCTURE ENGINEERS 4091 RIVERSIDE DR. SUITE # 114 CHINO, CA 91710 PHONE: (909) 613-0234</p> <p>GEOTECHNICAL ENGINEER : SLAODEN ENGINEERING 45-090 GOLF CENTER PARKWAY, SUITE F INDIO, CA 92201 PHONE: (760) 863-0713</p> <p>CIVIL ENGINEER : MICHAEL PLATT CONSULTING 66055 ESTRELLA AVENUE DESERT HOT SPRINGS, CA 92240 PHONE : 760 250-6265</p> <p>MODULAR CO. : SCI 31631 AUTO CENTER DR. LAKE ELSINOR, CA 92530 PHONE: (951) 245-0700</p>	<p>DESIGN & CONSTRUCTION DOCUMENTS CODE : CBC 2013</p> <p>PROJECT DESCRIPTION : MODULAR BUILDING FOR MEDICAL OFFICE 3 X 12' X 40'=1,440 SQ. FT. MODULAR BUILDING FOR CULTIVATION AND SALE OF MARIJUANA 4 X 12' X 40'=1,920 SQ. FT. TOTAL OF 7-12' X 40' = 3,360 SQ. FT.</p> <p>OCCUPANCY : MEDICAL OFFICE " B " CULTIVATION AND SALE " H "</p> <p>OCCUPANT LOAD : MEDICAL OFFICE 1,440 SQ.FT. / 100 = 14 MAX. CULTIVATION AND SALE 1,920 SQ. FT. / 100 =19 MAX.</p> <p>CONSTRUCTION TYPE : V-B WITH FIRE SPRINKLER SYSTEM</p> <p>BUILDING HEIGHT : 12'-0"</p> <p>FLOOR LIVE LOAD : 50 PSF</p> <p>ROOF LIVE LOAD : REDUCIBLE 20 PSF</p> <p>WIND LOAD : 130 MPH EXPOSURE "C"</p> <p>SEISMIC DESIGN CATEGORY : CLASS D</p> <p>FOUNDATION : BUILDING ON PERMANENT CONCRETE FOUNDATION</p> <p>BUILDING ALLOWABLE AREA ANALYSIS : CBC ALLOWABLE AREA FOR MEDICAL OFFICE 9,000 S.F. 9,000 SQ. FT. > 1,440 SQ. FT. CBC ALLOWABLE AREA FOR H 9,000 SQ. FT. 9,000 SQ. FT. > 1,920 SQ. FT.</p>	<p>PROJECT ADDRESS : PAUL ROAD DESERT HOT SPRINGS, CALIFORNIA</p> <p>ASSESSOR'S PARCEL NO. : 660-160-010</p> <p>LEGAL DESCRIPTION IN THE CITY OF DESERT HOT SPRINGS, RIVERSIDE COUNTY, STATE OF CALIFORNIA, A PORTION OF THE S 1/2 OF THE NW 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 5 EAST, S.B.B. & M</p> <p>LAND USE TABLE :</p> <table border="1"> <tr> <td>EXISTING LAND USE</td> <td>VACANT</td> </tr> <tr> <td>PROPOSED LAND USE</td> <td>COMMERCIAL (MEDICAL)</td> </tr> <tr> <td>GROSS ACREAGE 1.2 ACRES=</td> <td>52,272 SQ. FT.</td> </tr> <tr> <td>PROPOSED BUILDING AREA</td> <td>3,360 SQ. FT. = 6.42%</td> </tr> <tr> <td>PROPOSED PARKING AREA</td> <td>14,800 SQ. FT. = 28.32%</td> </tr> <tr> <td>PROPOSED LANDSCAPE AREA</td> <td>18,800 SQ. FT. = 35.96%</td> </tr> <tr> <td>PROPOSED FIRE DEPARTMENT ACCESS IN THE BACK YARD OF THE BUILDING</td> <td>8,260 SQ. FT. = 15.80%</td> </tr> <tr> <td>REMAINING LAND</td> <td>7,052 SQ. FT. = 13.50%</td> </tr> </table> <p>PARKING :</p> <table border="1"> <tr> <td>REQUIRED PARKING SPACE</td> <td>10</td> </tr> <tr> <td>PROVIDED ACCESSIBLE PARKING STALL</td> <td>1</td> </tr> <tr> <td>PROVIDED ACCESSIBLE VAN PARKING STALL</td> <td>1</td> </tr> <tr> <td>PROVIDED STANDARD PARKING STALL</td> <td>21</td> </tr> <tr> <td>TOTAL PARKING STALLS PROVIDED</td> <td>23</td> </tr> </table> <p>FLOOD ZONE : ZONE : A COMMUNITY PANEL NO. 060709 2234G MAP RIVERSIDE : AUGUST 28, 2008</p>	EXISTING LAND USE	VACANT	PROPOSED LAND USE	COMMERCIAL (MEDICAL)	GROSS ACREAGE 1.2 ACRES=	52,272 SQ. FT.	PROPOSED BUILDING AREA	3,360 SQ. FT. = 6.42%	PROPOSED PARKING AREA	14,800 SQ. FT. = 28.32%	PROPOSED LANDSCAPE AREA	18,800 SQ. FT. = 35.96%	PROPOSED FIRE DEPARTMENT ACCESS IN THE BACK YARD OF THE BUILDING	8,260 SQ. FT. = 15.80%	REMAINING LAND	7,052 SQ. 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NO.</th> <th>SHEET TITLE</th> </tr> </thead> <tbody> <tr> <td colspan="2">ARCHITECTURAL DRAWINGS</td> </tr> <tr> <td>C-0.0</td> <td>COVER SHEET / PROJECT DATA / APPLICABLE CODES/INDEX OF DRAW'GS.</td> </tr> <tr> <td>C-1.0</td> <td>SITE PLAN</td> </tr> <tr> <td>A-1.0</td> <td>FLOOR PLAN</td> </tr> <tr> <td>A-1.1</td> <td>ROOF PLAN</td> </tr> <tr> <td>A-2.0</td> <td>EXTERIOR ELEVATIONS</td> </tr> <tr> <td>L-1.0</td> <td>LANDSCAPE PLANTING PLAN</td> </tr> <tr> <td>PH-1</td> <td>PHOTOMETRIC PLAN</td> </tr> <tr> <td colspan="2">CIVIL ENGINEERING DRAWINGS</td> </tr> <tr> <td>G-01</td> <td>PRECISE GRADING PLAN COVER SHEET</td> </tr> <tr> <td>G-02</td> <td>PRECISE GRADING PLAN</td> </tr> <tr> <td>S-01</td> <td>STREET IMPROVEMENT PLANS COVER SHEET</td> </tr> <tr> <td>S-02</td> <td>STREET IMPROVEMENT PLANS PAUL ROAD</td> </tr> <tr> <td>S-03</td> <td>STREET IMPROVEMENT PLANS RITA WAY</td> </tr> <tr> <td>EC-1</td> <td>SWPPP EROSION CONTROL PLAN</td> </tr> <tr> <td>PM-1D</td> <td>DUST CONTROL PLAN</td> </tr> </tbody> </table>	SHT. 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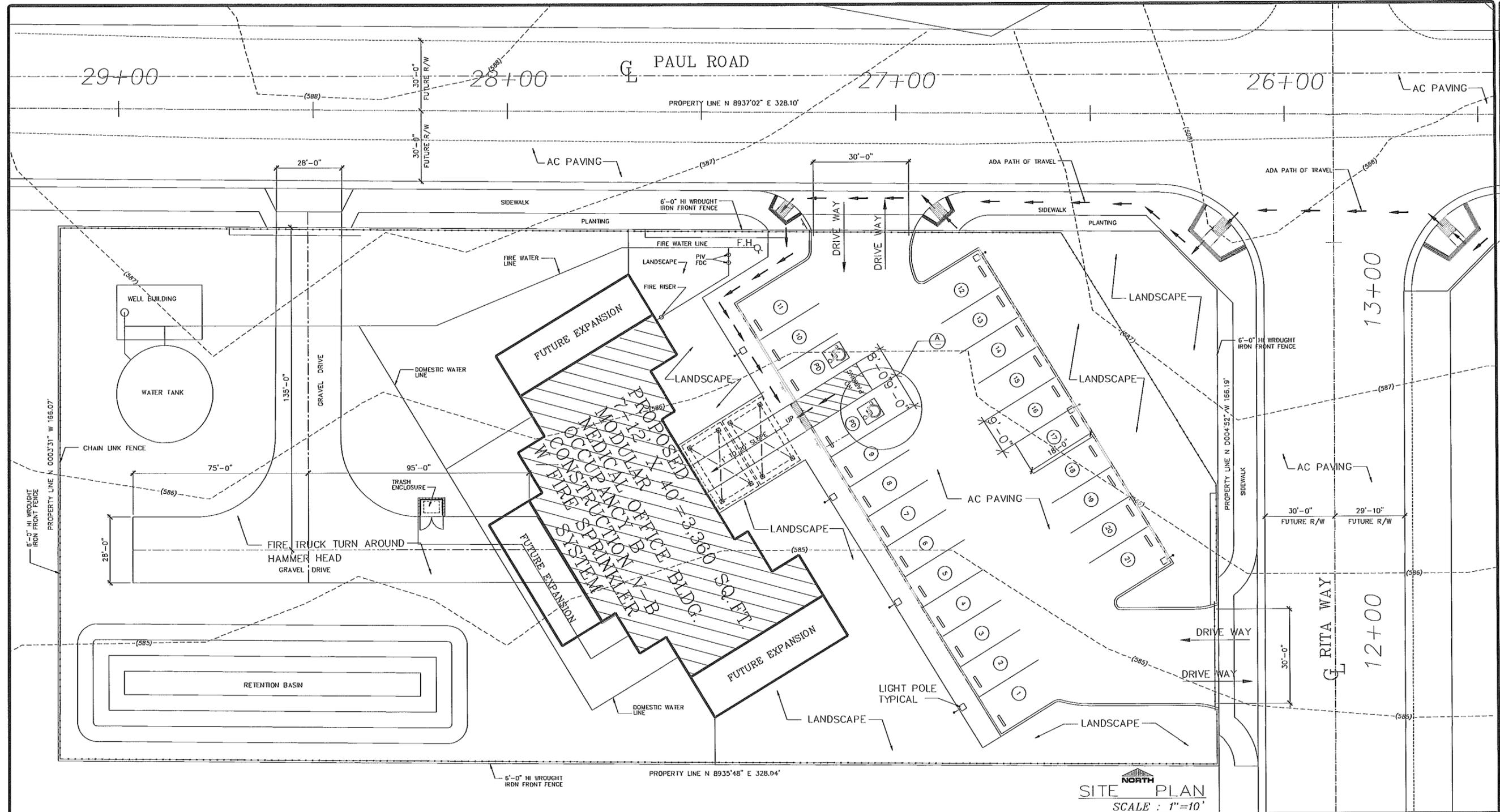
CONSULTANT :



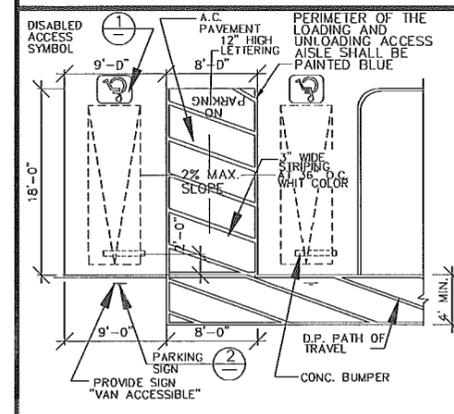
KEN AGHAROKH & ASSOCIATES
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EMAIL ADDRESS KAANDA@AOL.COM



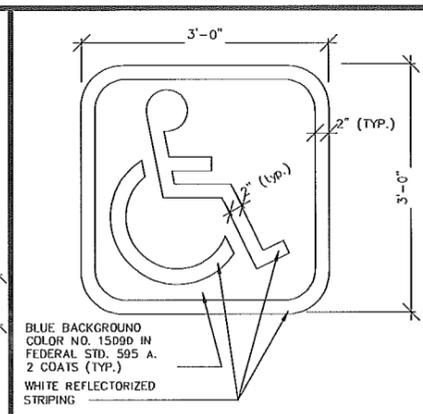
PROJECT NO. A-106-2015
DATE: JUNE / 02 / 2015
SHEET C-0.0



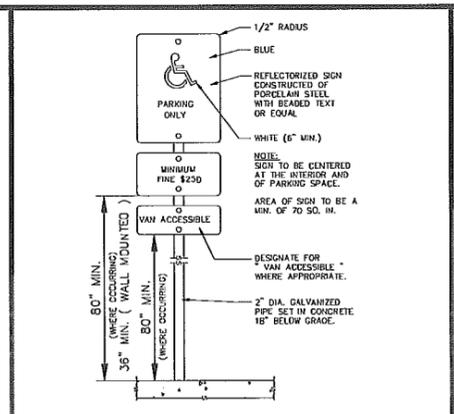
SITE PLAN
SCALE: 1"=10'



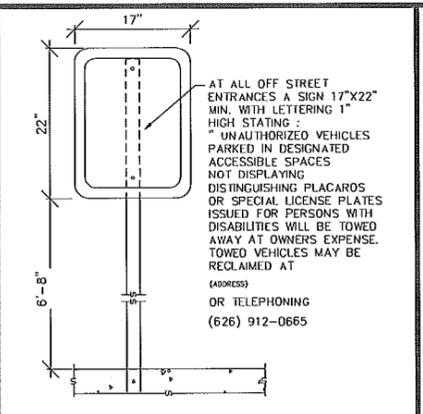
DISABLED ACCESS PARKING (A) NOT TO SCALE



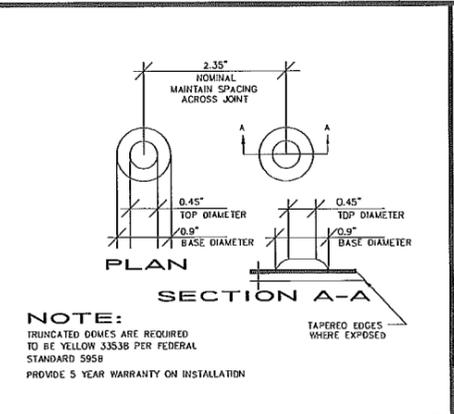
DISABLED ACCESS SYMBOL (1) NOT TO SCALE



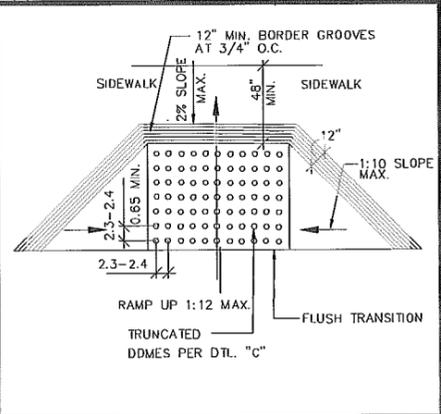
VAN PARKING SPACE SIGNAGE (2) NOT TO SCALE



DISABLED ACCESS SIGN (3) NOT TO SCALE



TRUNCATED DOME SPACING DTL. (4) NOT TO SCALE



CURB RAMP DETAIL (5)

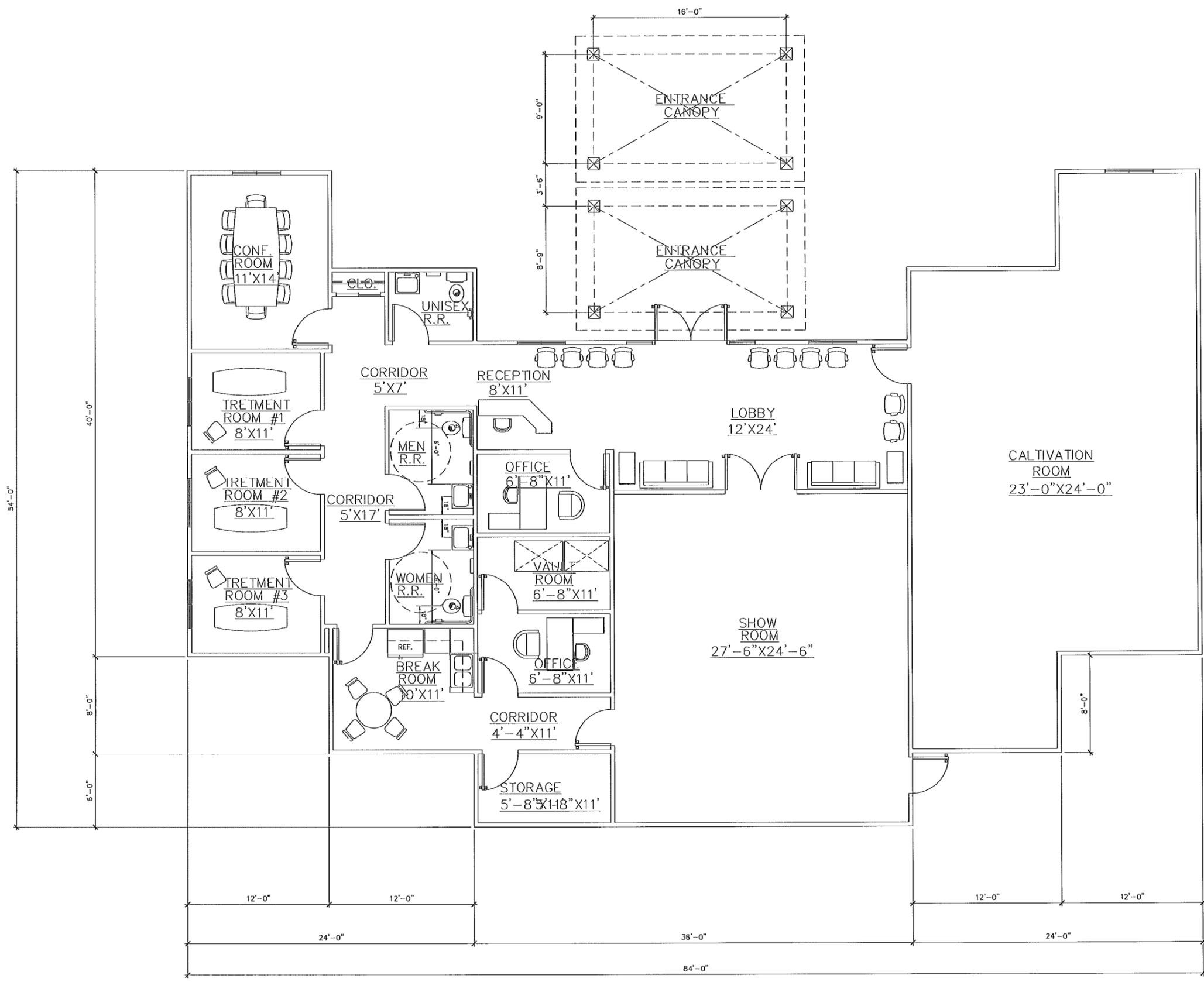
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K&A
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MR. WILLIAM CONNER'S MEDICAL OFFICE,
CULTIVATION & SALE OF MARIJUANA BUILDING
DESERT HOT SPRINGS, CALIFORNIA
SITE PLAN

DATE 05 / 28 / 2015
SCALE 1" = 10'
DRAWN BY K.A.
CHECKED BY K.A.
PROJECT NO. A-106-2015
SHEET NO. C-1.0



FLOOR PLAN

SCALE: 1/4" = 1'-0"

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REVISIONS	
NO.	DESCRIPTION

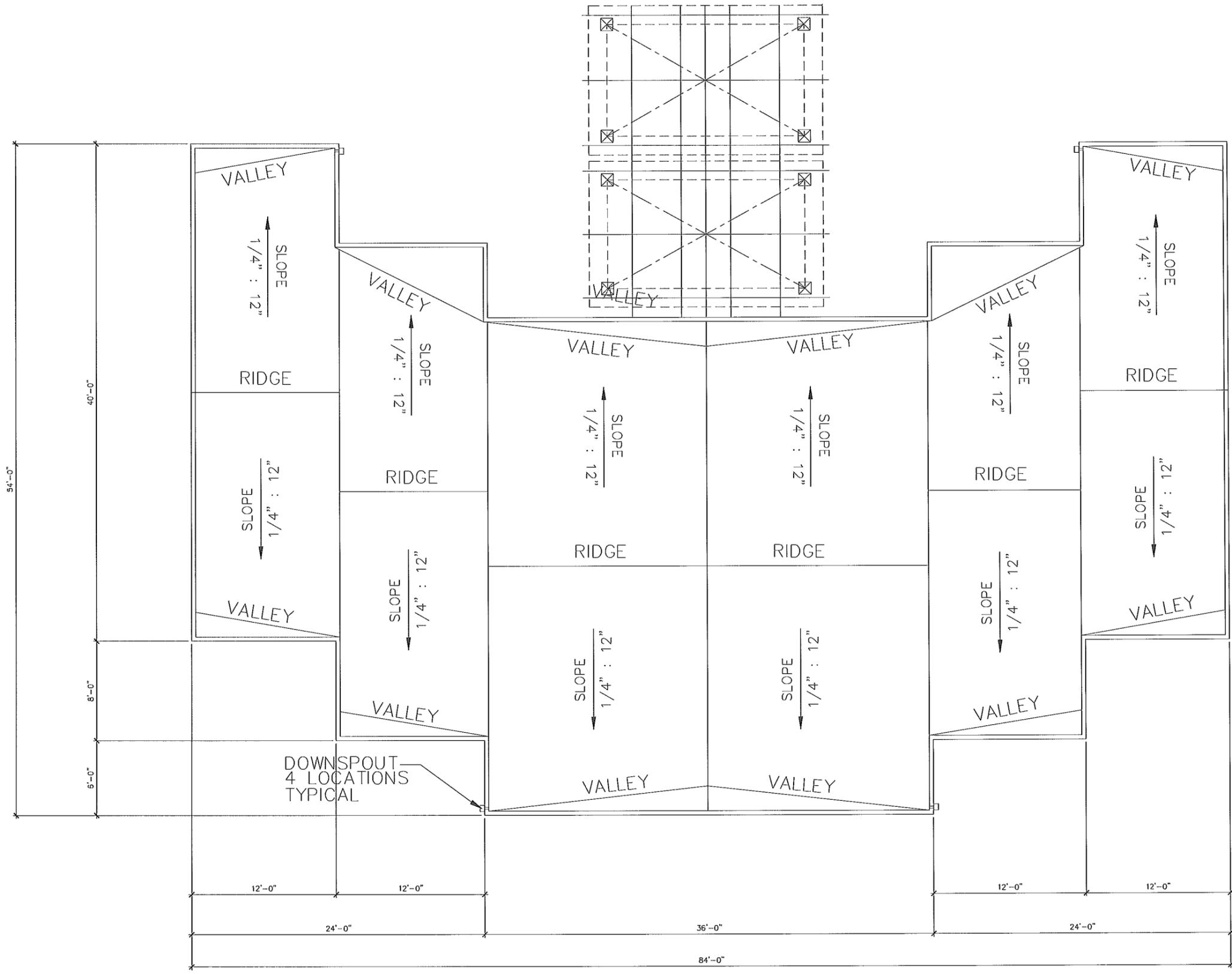
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ACCUCANNA HEALTH CENTER PROJECT
 FOR MR. BILLY CONNER
 DESERT HOT SPRINGS, CALIFORNIA
 FLOOR PLAN

DATE 06/2/2015
 SCALE 1/4" = 1'-0"
 DRAWN BY K.A.
 CHECKED BY K.A.

PROJECT NO.
 A-106-2015

SHEET NO.
 A-1.0



NOTE ;
 ROOFING MATERIAL SHALL BE
 " EPDM ROOFING "

ROOF PLAN

SCALE: 1/4" = 1'-0"

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ACCUCANNA HEALTH CENTER PROJECT
 FOR MR. BILLY CONNER
 DESERT HOT SPRINGS, CALIFORNIA
 ROOF PLAN

DATE 05 / 02 / 2015
 SCALE 1/4" = 1'-0"
 DRAWN BY K.A.
 CHECKED BY K. A.

PROJECT NO.
 A-106-2015

SHEET NO.
 A-1.1

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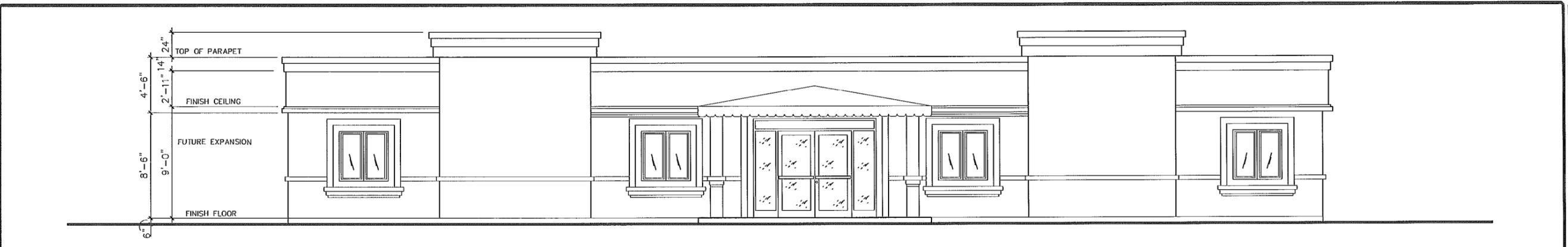
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ACCUCANNA HEALTH CENTER PROJECT
 FOR MR. BILLY CONNER
 DESERT HOT SPRINGS, CALIFORNIA
 EXTERIOR ELEVATIONS

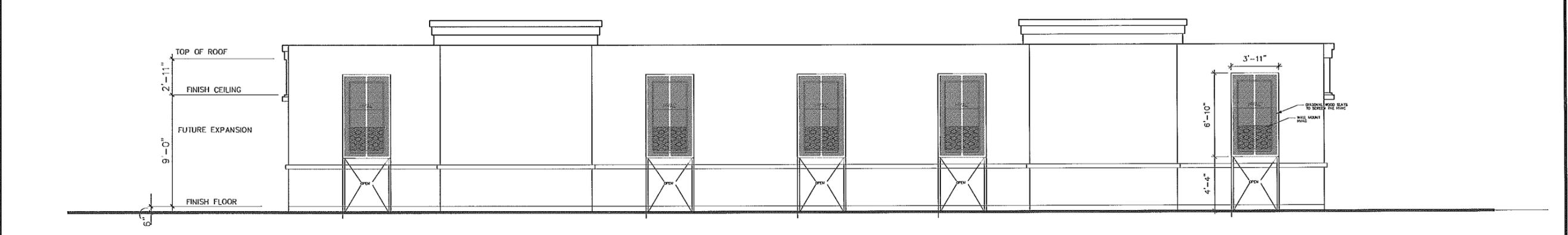
DATE 06 / 02 / 2015
 SCALE 1/4" = 1'-0"
 DRAWN BY K.A.
 CHECKED BY K.A.

PROJECT NO.
 A-106-2015

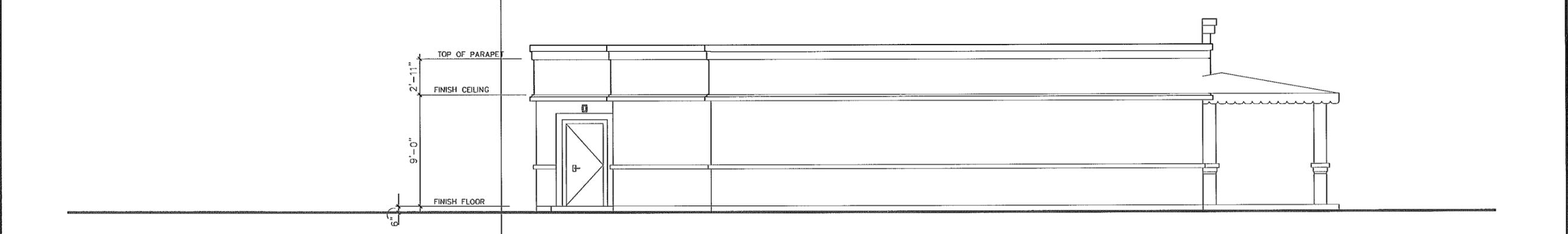
SHEET NO.
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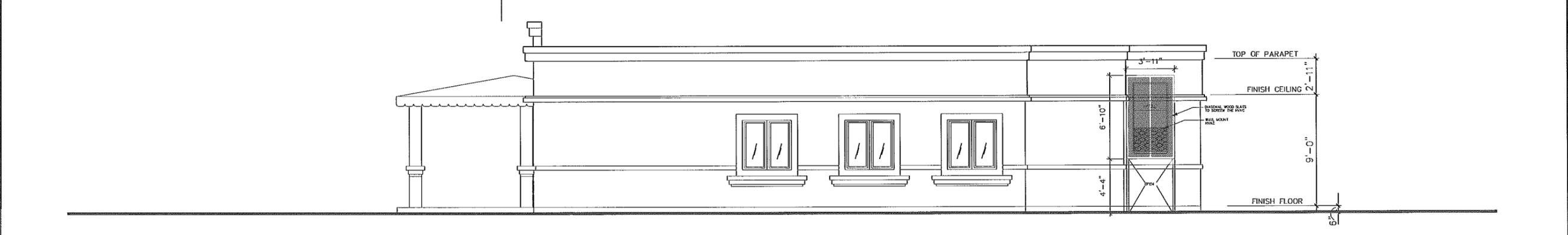
FRONT (EAST) ELEVATION



REAR (WEST) ELEVATION



LEFT (SOUTH) ELEVATION



SCALE: 1/4" = 1'-0"

PLANT LEGEND

SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QUANTITY	SIZE	REMARKS	WATER USE FACTOR	
TREES (PER WUCOLS REGION 6)							
	CER 'DM'	CERCIDIUM 'DESERT MUSEUM' / NO COMMON NAME	3	24" BOX	--	PLANT FACTOR 0.3	
	CHI LIN	CHILIPSIIS LINEARIS / DESERT WILLOW	12	24" BOX	--		
	DRA DRA	DRACAENA DRACO / DRAGON TREE	3	24" BOX	--		
	FRA VEL	FRAXINUS VELUTINA 'RIO GRANDE' / FAN-TEXASH (STREET TREE - PAUL RD.)	3	24" BOX	--		
	PHO DAC	PHOENIX DACTYLIFERA / DATE PALM	3	24" BOX	--		
	PRO CH	PROSOPIS CHILENSIS / MESQUITE (STREET TREE - PALM DR.)	4	24" BOX	--		
	WAS HYB	WASHINGTONIA HYBRIDS / CALIFORNIA FAN PALM	6	24" BOX	--		
SHRUBS (PER WUCOLS REGION 6)							
	AGA AME	AGAVE AMERICANA / CENTURY PLANT	10	5 GALLON	--	PLANT FACTOR 0.3	
	AGA 'MED'	AGAVE A. 'MEDIOPICTA ALBA' / VARIEGATED CENTURY PLANT	6	5 GALLON	--		
	ALD STR	ALOE STRIATA / CORAL ALDE	20	1 GALLON	--		
	CAE PUL	CAESALPINIA PULCHERRIMA / RED BIRD OF PARADISE	13	5 GALLON	--		
	OAS WHE	DASYLIRION WHEELERI / DESERT SPOON	8	5 GALLON	--		
	HES PAR	HESPERALOE PARVIFLORA / RED YUCCA	55	5 GALLON	--		
	LEU FRU	LEUCOPHYLLUM FRUTESCENS / TEXAS RANGER	51	5 GALLON	--		
	MUH CAP	MUHLENBERGIA CAPILLARIS / PINK MUHLY	64	5 GALLON	--		
	MUH RIG	MUHLENBERGIA RIGENS / DEER GRASS	26	5 GALLON	--		
	PEN SET	PENNISETUM S. 'DWARF RED' / DWARF RED FOUNTAIN GRASS	89	1 GALLON	--		
	RUE PEN	RUELLIA PENINSULARIS / NO COMMON NAME	33	5 GALLON	--		
GROUND COVER (PER WUCOLS REGION 6)							
	BOULDERS / COBBLE	SMOOTH GRANITE BOULDERS (2' x 2' to 3' x 4') WITH COBBLE TO MATCH BOULDERS (RANDOM SIZES BETWEEN 2" TO 6" IN DIAMETER). BURY & SET BOULDERS HALF WAY INTO EXISTING GRADE.	19	--	--		PLANT FACTOR 0.3
	D. G.	'DESERT GOLD' DECOMPOSED GRANITE 3/8" MINUS TO BE INSTALLED TO A DEPTH OF 2" IN ALL SHRUB / GROUND COVER PLANTING AREAS.	--	--	--		
	LAN HYB	LANTANA H. 'GOLD RUSH' / YELLOW TRAILING LANTANA FROM 1 GALLON SIZE CONTAINERS SPACED @ 4' O.C.	--	1 GALLON	SEE DETAIL 'P', SHEET L-5		
	MYO PAR	MYOPORUM PARVIFOLIUM / PROSTRATE MYOPORUM FROM 1 GALLON SIZE CONTAINERS SPACED @ 4' O.C.	--	1 GALLON	--		

PLANTING NOTES

THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH THE PLANS AND DETAILS.

POUR TO SOIL PREPARATION: CONTRACTORS SHALL USE A LICENSED SOIL LABORATORY TO ANALYZE THE SITE SOIL IN PLANTING AREAS TO DETERMINE THE AGRICULTURAL SUBSTRATE AND FERTILITY. THE LAB SHALL SUBMIT A WRITTEN REPORT OF THEIR FINDINGS WITH ANY RECOMMENDATIONS FOR THE AMENDING OF THE SOIL TO THE OWNER. AND THE LANDSCAPE ARCHITECT TO BE IMPLEMENTED BY THE CONTRACTOR IN ADDITION TO THE ORIGINAL SOIL PREP PLAN.

SOIL PREPARATION AMENDMENTS (PER 1000 SQUARE FEET):
 4 CUBIC YARDS OF NITROGEN STABILIZED & UNIVERSALIZED ORGANIC AMENDMENTS (REDWOOD, FIR OR CEDAR SHAVINGS)
 50 POUNDS AGRICULTURAL GIPSSUM
 10 POUNDS GRO-PONER PLUS

THE REQUIRED SITE SPECIFIC SOILS REPORT AND ITS RECOMMENDATIONS WILL DICTATE THE FINAL SOIL PREPARATION REQUIREMENTS.

CULTIVATE (ROTATE) PLANTING AREAS TO A DEPTH OF SIX (6) INCHES WITH THE REQUIRED SOIL PREPARATION AMENDMENTS, WITH THOROUGH AND ALLOW TO SETTLE. REPEAT THIS PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO HOLD A WALKER AND SMOOTH CONSISTENCY TO ALLOW FOR GRASSING AND CARPENE PRACTICAL DO NOT ROTATE SLOPED AREAS THAT ARE OVER A 3:1 GRADE.

FORNEED CONTROL: CONTINUE TO FERTILIZE THOROUGHLY FOR A PERIOD OF TWO TO THREE WEEKS OR UNTIL TREATED SEEDS HAVE GERMINATED. WHEN THERE IS SUFFICIENT WEED SEED GERMINATION, THE CONTRACTOR SHALL APPLY A FAST EMERGENT WEED KILLER, ACCORDING TO THE DIRECTIONS OF A LICENSED PEST CONTROL APPLICATOR. THE CONTRACTOR SHALL THEN WAIT AN ADDITIONAL ONE WEEK TO ALLOW THE WEED KILLER TO DISSEPERATE PRIOR TO PLANTING.

BRICKFILL MIX FOR TREE AND SHRUB PLANTING (PER CUBIC YARD):
 20 CUBIC YARDS ON SITE SOIL
 10 CUBIC YARDS ORGANIC AMENDMENT (INTRODUCED 5 INCHES)
 1 POUND INDIAN SILLARITE (ON FIRM, 10% SILICA)
 2 POUNDS 6-20-20 COMMERICAL FERTILIZER
 10 POUNDS GRO-PONER PLUS

POUR TO GRO-PONER PLANTING TABLETS (7 & 21 GRAINS) IN EACH PLANTING PIT AS FOLLOWS:

- (1) ONE TABLET (21 GRAINS) FOR EACH 4" POT & GROUND COVER
- (1) ONE TABLET (21 GRAINS) FOR EACH 1 GALLON CONTAINER
- (3) THREE TABLETS (63 GRAINS) FOR EACH 5 GALLON CONTAINER
- (1) FIVE TABLETS (105 GRAINS) FOR EACH 15 GALLON CONTAINER
- (4) FOUR TABLETS (84 GRAINS) FOR EACH 1/2" OF CALIFOR MEASURED 1/4" ABOVE SOIL LEVEL FOR LARGER SIZES

REMOVE STAKES AND TRELLIS FROM WES AND SPANERS AND SECURE TO WALLS, FENCES AND POSTS AS PER DETAIL.

GROUND COVERS SHALL EXTEND BENEATH ALL TREES AND SHRUBS IN PLANTER AREAS WITH GROUND COVERS INDICATED.

NOTE: WHENEVER NEW TREES ARE LOCATED WITHIN FIVE (5) FT. OF ANY CONCRETE WALK, CURB, WALL OR BUILDING, THEY MUST BE PLACED WITHIN A LINEAR ROOT BARRIER. THE PREFERRED BARRIER IS 1/4" (65 THICK BLACK POLYETHYLENE MATERIAL PLACED ALONG THE SIDE OF THE WALL, CURB, BUILDING ETC., THIRTY FOUR (4) INCHES DEEP AND A LENGTH OF TEN FEET CENTERED ON THE TREE.

NURSERY STANDARD NOTES:

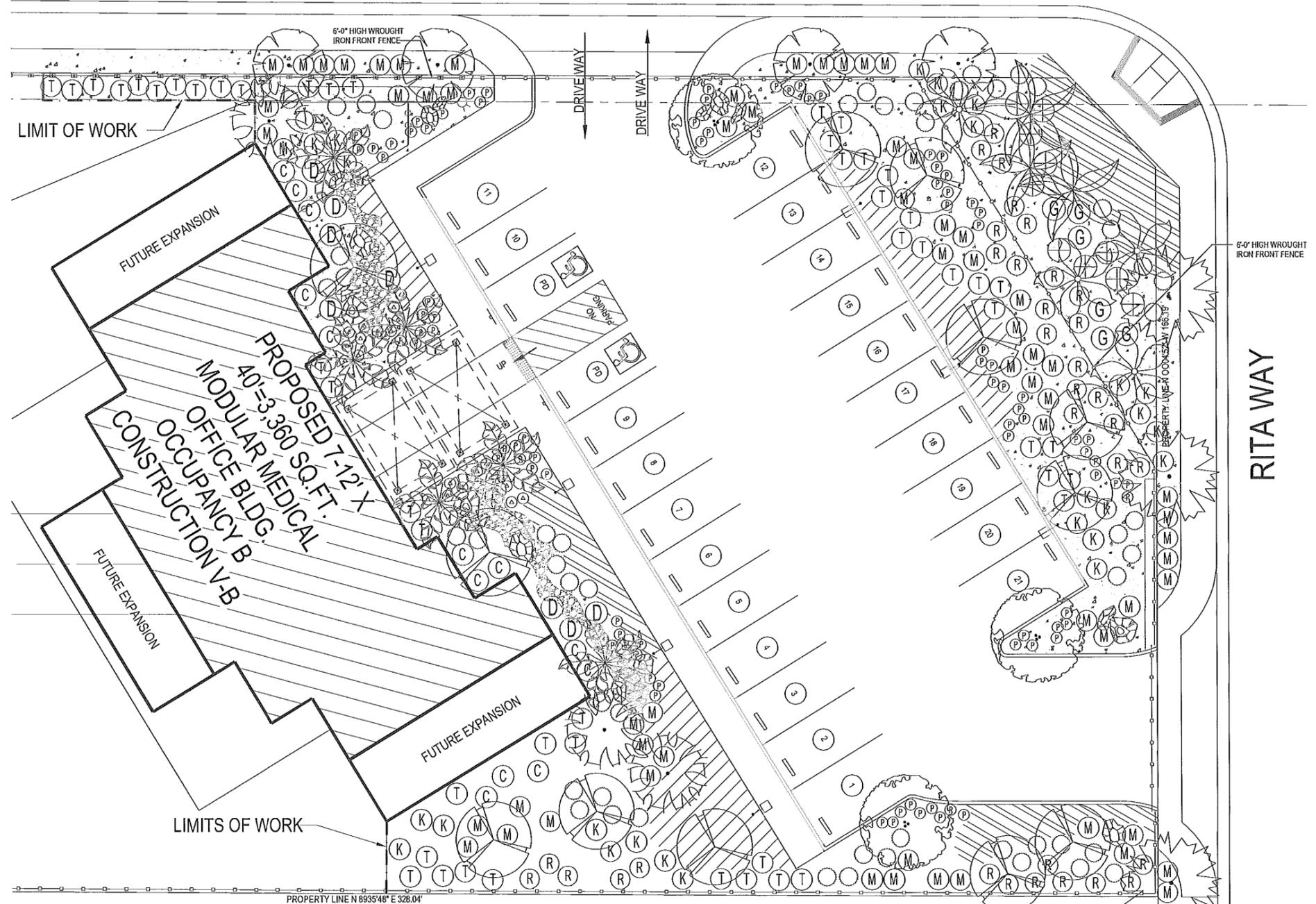
ALL PLANT MATERIALS DELIVERED TO THE SITE SHALL CONFORM WITH THE CURRENT MANSURY INDUSTRY STANDARDS, THAT INCLUDES AND IS NOT LIMITED TO HEAVY PRUNING, TOPPING AND STAKE WOUNDS EVIDENT ON ANY SPECIEN TREES AND FOR PLANTS.

SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM WITH THE CURRENT MANSURY INDUSTRY STANDARDS. MATERIALS NOT IN COMPLIANCE WITH THESE SAID STANDARDS SHALL BE DEEMED UNACCEPTABLE AND WILL BE REPLACED WITH MATERIALS THAT ARE.

THE SIZE OF THE MATERIAL SHALL BE IN PROPORTION WITH THE RESPECTIVE CONTAINER SIZE. PLANT MATERIAL THAT DOES NOT FULLY MEET THE INDUSTRY STANDARDS IS TO BE REPLACED WITH MATERIAL THAT MEET THE INDUSTRY STANDARDS.

PLANT MATERIAL THAT IS OVERGROWN AND ROOT-BOLTED IS NOT ACCEPTABLE AND WILL BE RETURNED.

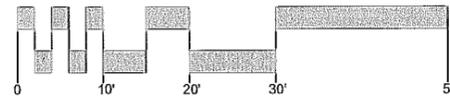
PAUL ROAD



PLANTING PLAN



SCALE: 1" = 10'



Studio Five
 LANDSCAPE ARCHITECTURE PLANNING

470 WALD IRVINE, CA 92618-4510

KENNETH A. ANDREW A.S.L.A. (949) 450-0056
 AZ #24328 CA #1460 CO #512 NV #223 PAX (949) 789-7222

kenna@studiofiveandarch.com

FILE: #15-2041

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NO.	DATE	BY	DESCRIPTION

MR. WILLIAM CONNER'S MEDICAL OFFICE, CULTIVATION & SALE OF MARIJUANA BUILDING
 ARCHITECTS: AGHIA PLANNING ARCHITECTS
 ARCHITECTS: AGHIA PLANNING ARCHITECTS

DATE: 6/19/2015
 SCALE: 1"=10'
 DRAWN BY: JES
 CHECKED BY: KAY

PROJECT NO. A-106-20
 SHEET NO. L-1.



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NO.	DATE	BY	DESCRIPTION

K&A
ARCHITECTS / PLANNERS
KEN AGHAROKH AIA

MR. WILLIAM CONNER'S MEDICAL OFFICE, CULTIVATION & SALE OF MARIJUANA BUILDING
DESERT HOT SPRINGS, CALIFORNIA

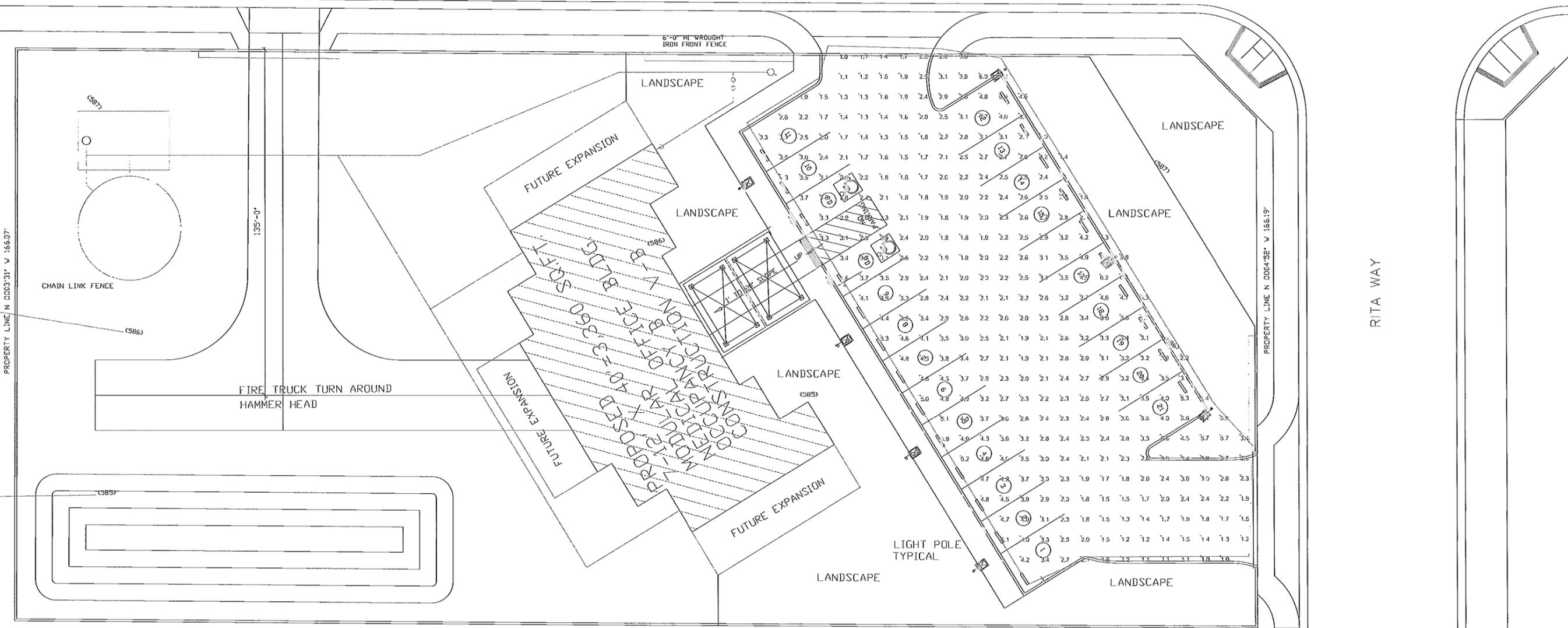
DATE 03 / 18
SCALE 1" = 20'
DRAWN BY
CHECKED BY

PROJECT
A-106-2

SHEET NO.
PH-

PAUL ROAD

RITA WAY



PROPERTY LINE N 8935'48" E 328.04'

Luminaire Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	7	Lithonia Lighting	DSX2 LED 80C 700 40K T4M MVOLT @ 17.5' MTG (15' POLE + 2.5' BASE)	DSX2 LED W/4 (20) LED LIGHT ENGINES, (2) 700mA DRIVERS, 4000K LED, TYPE T4M OPTICS	LED	1	DSX2_LED_80C_700_40_K_T4M_MVOLT.lvs	18724.05	0.9	183

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PARKING		2.8 fc	8.1 fc	1.0 fc	8.1:1	2.8:1	0.3:1

Plan View
Scale - 1" = 20'

IN THE CITY OF DESERT HOT SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
ACCUCANNA HEALTH CENTER PRECISE GRADING PLAN

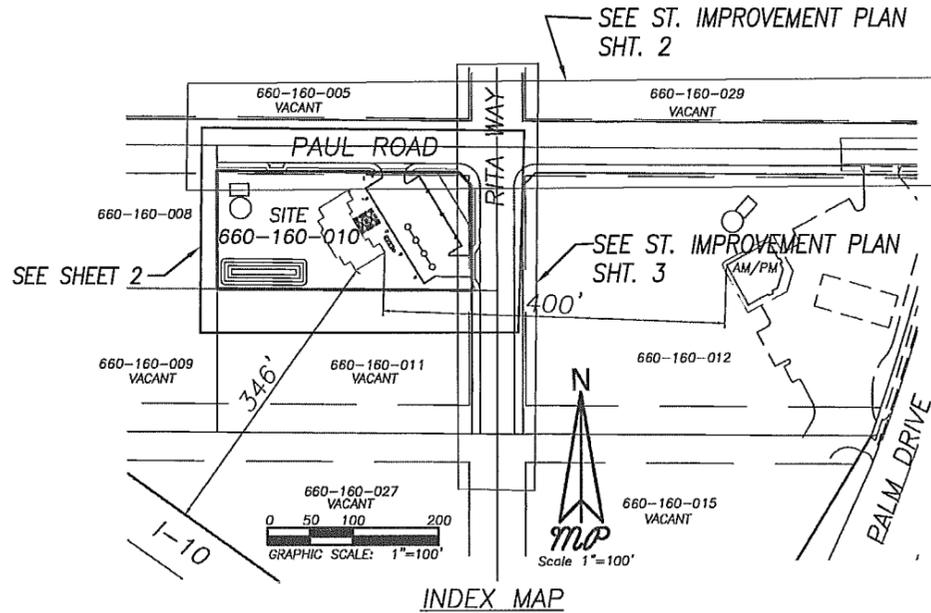
IN A PORTION OF THE SOUTH 1/2 OF SEC. 30, T3S, R5E, S.B.M.

PM10 DUST MITIGATION NOTES:

- ENTIRE SITE SHALL BE PRE-WATERED WITH RAIN BIRD TYPE SPRINKLERS.
- BLOWING DUST SHALL BE CONTROLLED BY WATERING DURING CONSTRUCTION AND ON WEEKENDS AS NECESSARY.
- LANDSCAPING SHALL BE INSTALLED AS SOON AS PRACTICAL, AND DUST SHALL BE CONTROLLED BY WATERING UNTIL SUCH TIME THAT LANDSCAPING IS INSTALLED.
- THE DEVELOPER SHALL MAINTAIN RECORDS TO DOCUMENT THE DATES OF ACTIVE OPERATIONS, ALL APPLICABLE FUGITIVE DUST SOURCE TYPES, AND ACTIONS TAKEN. THESE RECORDS SHALL BE RETAINED FOR A PERIOD OF AT LEAST SIX MONTHS AND THESE RECORDS SHALL BE AVAILABLE TO THE COUNTY OF RIVERSIDE DEPARTMENT OF BUILDING AND SAFETY UPON REQUEST.
- THE DEVELOPER SHALL PREVENT THE EMISSIONS OF VISIBLE DUST IN THE ATMOSPHERE BEYOND THE PROJECT BOUNDARY.
- ON THE LAST DAY OF A ACTIVE OPERATIONS PRIOR TO A WEEKEND, HOLIDAY, OR OTHER OPERATION WILL OCCUR FOR NOT MORE THAN FOUR (4) CONSECUTIVE DAYS: APPLY WATER WITH A MIXTURE OF CHEMICAL STABILIZER DELUTED TO NOT LESS THAN 1/20TH OF THE CONCENTRATION REQUIRED TO MAINTAIN A STABILIZED SURFACE FOR A PERIOD OF SIX (6) MONTHS.
- ACCEPTABLE CHEMICAL STABILIZERS:
 SOIL CEMENT/INDUSTRIAL SUPPLY-1-800-321-0699/MYROKLEEN/INDUSTRIAL SUPPLY-1-800-321-0699/MAGNESIUM CHLORIDE/LEE CHEMICAL, INC. 1-909-369-5292/CALCIUM CHLORIDE/LEE CHEMICAL, INC. 1-909-369-5292/ARENAK (HORSE ARENAS)/INDUSTRIAL SUPPLY-1-800-321-0699
- HIGH WIND MEASURES (25MPH OR GREATER)
 A) CEASE ALL ACTIVE OPERATIONS; OR
 B) APPLY WATER WITHIN 15 MINUTES TO ANY SOIL SURFACE WHICH IS BEING MOVED OR OTHERWISE DISTURBED.
- PM10 MEASURES MUST BE IMPLEMENTED DURING ALL ASPECTS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO GRADING, EXCAVATION OF FOOTINGS, TRENCHING AND BACK FILL FOR UNDERGROUND UTILITIES, TEMPORARY STOCKPILES, AND BUILDING CONSTRUCTION ACTIVITIES.
- ALL TRACK OUT DIRT MUST BE REMOVED FROM STREETS

GENERAL PAVING NOTES:

- ALL UNDERGROUND FACILITIES, WITH LATERALS, SHALL BE IN PLACE PRIOR TO PAVING, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: SEWER, WATER, ELECTRIC, GAS, STORM DRAINS.
- ALL CONCRETE CURBS, GUTTER, AND PERIMETER STRUCTURES OR HEADERS SHALL BE IN PLACE PRIOR TO PAVING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR DEVELOPER TO INSTALL AND MAINTAIN ALL CONSTRUCTION REGULATORY, GUIDE AND WARNING SIGNS WITHIN THE PROJECT LIMITS AND ITS SURROUNDING TO PROVIDE SAFE PASSAGE FOR THE TRAVELING PUBLIC AND WORKERS UNTIL THE FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT BY THE CITY OF DESERT HOT SPRINGS.
- ALL PAVING AND BASE SECTIONS ARE TENTATIVE. ADDITIONAL SOILS TESTS SHALL BE TAKEN BY THE DEVELOPER/DOWNER AFTER ROUGH GRADING TO DETERMINE THE EXACT STRUCTURAL SECTION REQUIREMENTS, USE RIVERSIDE COUNTY STANDARD NO. 401 IF EXPANSIVE SOILS ARE ENCOUNTERED.
- ASPHALTIC EMULSION (FOG SEAL) SHALL BE APPLIED NOT LESS THAN FOURTEEN DAYS FOLLOWING PLACEMENT OF THE ASPHALTIC SURFACING. FOG SEAL AND PAINT BRIDGES SHALL BE APPLIED AT A RATE OF 0.05 AND 0.03 GALLON PER SQUARE YARD RESPECTIVELY. ASPHALTIC EMULSION SHALL CONFORM TO SECTION 39 OF THE STATE STANDARD SPECIFICATIONS.
- PRIME COAT IS REQUIRED PRIOR TO PAVING ON ALL GRADES IN EXCESS OF TEN PERCENT.
- TO IMPROVE TRAFFIC SAFETY ON THE ROADS UNDER THE JURISDICTION OF THE DEVELOPER, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ADDITIONAL SIGNS AND MARKINGS NOT SHOWN HEREON, OR ON ROADWAYS ADJACENT TO THE PROJECT BOUNDARIES, UPON THE REQUEST OF THE CITY INSPECTOR OR HIS DESIGNEE TO IMPROVE TRAFFIC SAFETY ON THE ROADS UNDER THE JURISDICTION OF THE DEVELOPER.
- AN APPROVED SOIL STERILIZER SHALL BE USED ON ALL SUBGRADE SURFACES PRIOR TO PLACEMENT OF PAVING.
- WHENEVER A CONSTRUCTION SITE IS WITHIN ONE-QUARTER (1/4) OF A MILE OF AN OCCUPIED RESIDENCE, NO CONSTRUCTION ACTIVITIES SHALL BE UNDERTAKEN BETWEEN THE MONTHS OF JUNE AND 30th OF SEPTEMBER AND BETWEEN THE MONTHS OF OCTOBER THROUGH MAY. EXCEPTIONS TO THESE STANDARDS SHALL BE ALLOWED ONLY WITH THE WRITTEN CONSENT OF THE CITY ENGINEER.



GEOTECHNICAL APPROVAL: SLADDEN ENGINEERING
 BRETT L. ANDERSON C45389, EXP. 9-30-2016 DATE

CONSTRUCTION NOTES AND QUANTITIES	QUANTITY	UNIT
1) CONSTRUCT 3" A.C. OVER 4" CMB	7,668	S.F.
2) CONSTRUCT 6" CURB AND GUTTER PER CITY STD. NO. 200	130	L.F.
3) CONSTRUCT 4" SIDEWALK PER CITY STD. NO. 401	1,654	S.F.
4) CONSTRUCT ADA CURB RAMP	2	E.A.
5) CONSTRUCT 6" CURB PER CITY STD. NO. 204	256	L.F.
6) CONSTRUCT 4" GRAVEL DRIVEWAY	1,309	S.F.
7) CONSTRUCT FACING GRADE RIP RAP VELOCITY REDUCER	84	S.F.
8) CONSTRUCT 3' WIDE VEGETATED SWALE	408	S.F.
9) CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLANS	1	E.A.
10) FURNISH AND INSTALL PARKING LOT LIGHTS PER ARCHITECTURAL PLANS	7	E.A.
11) INSTALL ADA PARKING SIGNS AND MARKINGS PER ARCHITECTURAL PLANS	2	E.A.
12) FURNISH & INSTALL 6" WROUGHT IRON FENCE	760	L.F.
13) FURNISH & INSTALL 6" WROUGHT IRON ROLLING GATE ASSEMBLY	3	E.A.

NOTE: THE QUANTITIES SHOWN ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN HIS OWN ESTIMATE FOR BID PURPOSES.

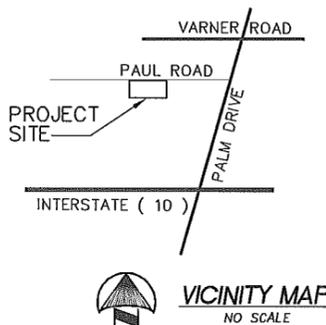
NOTIFICATIONS:

1. THE CONTRACTOR IS REQUIRED TO NOTIFY THE EXISTING ORGANIZATIONS IN THE AREA BEFORE THE START OF ANY WORK. THE UTILITIES IN THE AREA ARE:

CITY STREETS	CITY OF DESERT HOT SPRINGS (760) 329-6411
WATER/SEWER	PRIVATE SYSTEMS CDACHELLA VALLEY WATER DISTRICT (NO CURRENT SERVICE AVAILABLE) (760) XXX-XXXX
COUNTY ROADS	RIVERSIDE COUNTY TRANSPORTATION DEPARTMENT (760) 863-8267
ELECTRICITY	EDISON INTERNATIONAL (800) 655-4555
GAS	SOUTHERN CALIFORNIA GAS (909) 335-7729
TELEPHONE	VERIZON (760) 864-1715
CABLE TV	TIME-WARNER (760) 340-1312
FLOOD CONTROL	RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT (909) 955-1200
UNDERGROUND	UTILITIES UNDERGROUND SERVICE ALERT 811

LEGEND

CF — CURB FACE	— FW — PROPOSED FIRE WATER LINE
FG — FINISH GROUND	— W — PROPOSED WATER LINE
C&G — CURB AND GUTTER	— S — PROPOSED SEWER LINE
FS — FINISH SURFACE CONC. OR AC	— P — PROPERTY LINE
TC — TOP OF CURB	— E — EDGE EXISTING PAVEMENT
FL — FLOW LINE	— C — CURB AND GUTTER
TOE — TOE OF SLOPE	— S — PROPOSED STREET LIGHT
TOP — TOP OF SLOPE	— S — STREET SIGN
FF — FINISH FLOOR	— C — CENTERLINE
GB — GRADE BREAK	— C1/L1 — CURVE OR LINE DATA SYMBOL
HP — HIGH POINT	— (N) — CONSTRUCTION NOTE SYMBOL
R/W — RIGHT OF WAY	— (A) — NEW ASPHALT CONCRETE
AC — ASPHALT CONCRETE	— (G) — GRAVEL DRIVE
EG — EXISTING GROUND	— (R) — RIP RAP VELOCITY REDUCER
S/W — SIDEWALK	— (B) — BLOCK WALL
	— (C) — CONCRETE S/W



PRIVATE ENGINEER'S NOTE TO CONTRACTOR

The existence and location of any underground utility pipes, conduits or structures shown on these plans are obtained by a search of the available records. To the best of our knowledge there are no existing utilities except as shown on these plans. The contractor is required to take due precautionary measures to protect the utility lines shown on these drawings. The contractor further assumes all liability and responsibility for the utility pipes, conduits or structures shown or not shown on these drawings.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume full and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the safe negligence of design professional.

GENERAL GRADING NOTES:

- ALL GRADING AND RELATED IMPROVEMENTS SHALL CONFORM TO THE FOLLOWING, AS APPROPRIATE:
 A) UNIFORM BUILDING CODE, CURRENTLY ADOPTED EDITION.
 B) CITY OF DESERT HOT SPRINGS ORDINANCE 92-2.
 C) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK), 2000 EDITION.
 D) AMERICANS WITH DISABILITIES ACT.
 E) NPDES PERMIT
- ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT ANY CONSTRUCTION / GRADING.
- DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL SHOULD BE PROVIDED TO PREVENT FLOODING WATER AND DAMAGE TO ADJACENT PROPERTIES.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.
- MAXIMUM CUT AND FILL SLOPE = 2:1
- STABILITY CALCULATIONS WITH A FACTOR OF SAFETY OF AT LEAST ONE AND FIVE TENTH (1.5) SHALL BE SUBMITTED BY A SOILS ENGINEER TO THE BUILDING AND SAFETY DEPARTMENT FOR CUT AND FILL SLOPES OVER 30' IN VERTICAL HEIGHT.
- PROVIDE 2' WIDE BY 0.5' HIGH BERM OR EQUIVALENT ALONG THE TOP OF ALL SLOPES.
- PROVIDE A BROW DITCH, DESIGNED TO HANDLE 100 YR Q STORM FLOWS, ALONG THE TOP OF CUT SLOPES.
- MINIMUM BUILDING PAD AND DRAINAGE SWALE SLOPE SHALL BE = 1% IF CUT OR FILL IS LESS THAN 10', 2% IF CUT OR FILL IS GREATER THAN 10'. DRAINAGE SWALES SHALL BE A MINIMUM OF 0.2' DEEP AND BE CONSTRUCTED A MINIMUM OF 2' FROM THE TOP OF CUT OR FILL SLOPES.
- NO OBSTRUCTION OF FLOOD PLANS OR NATURAL WATER COURSES SHALL BE PERMITTED.
- ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION, ESPECIALLY DURING STORM CONDITIONS. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
- FINISH GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR WALLS AT NOT LESS THAN 1/2" PER FOOT FOR A MINIMUM OF 3'.
- CUT AND FILL SLOPES EQUAL TO OR GREATER THAN 3' IN VERTICAL HEIGHT SHALL BE PLANTED WITH GRASS OR DIRT COVER TO PROTECT THE SLOPE FROM EROSION AND INSTABILITY IN ACCORDANCE WITH RIVERSIDE COUNTY ORDINANCE NO. 457 PRIOR TO FINAL GRADING INSPECTION.
- EROSION CONTROL: ALL SLOPES REQUIRED TO BE PLANTED SHALL BE PROVIDED WITH ROSEAE ICE PLANT (OR EQUAL) GROUND COVER AT 12" ON CENTER. SLOPES EXCEEDING 15' IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED TREES SPACED NOT TO EXCEED 20' ON CENTER OR SHRUBS NOT TO EXCEED 10', OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO A GRASS MIX OR GROUND COVER. SLOPES EXCEEDING 4' IN VERTICAL HEIGHT SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM. SLOPES EQUAL TO OR LESS THAN 4', MAY BE IRRIGATED BY HOSE BIB LOCATED AT THE TOP OR TOE OF THE SLOPE, SPACED TO MAKE USE OF A HOSE NO LONGER THAN 50' IN LENGTH. THE IRRIGATION SYSTEM SHALL BE PROVIDED WITH AN APPROPRIATE BACKFLOW DEVICE PER U.P.C., CHAPTER 14.
- ALL GRADING SHALL BE DONE IN CONFORMANCE WITH RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION BY SLADDEN ENGINEERING DATED FEBRUARY 27, 2004. TWO SETS OF THE FINAL COMPACTION REPORT SHALL BE SUBMITTED TO THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT. THE REPORT SHALL INCLUDE FOUNDATION DESIGN RECOMMENDATIONS AND CERTIFICATION THAT GRADING HAS BEEN DONE IN CONFORMANCE WITH RECOMMENDATIONS OF THE SOILS INVESTIGATION REPORT.
- IF STEEP SLOPING TERRAIN OCCURS UPON WHICH FILL IS TO BE PLACED, IT MUST BE CLEARED, KEVED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. PREPARATION SHALL BE APPROVED BY A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL PRIOR TO PLACEMENT OF FILL MATERIAL.
- ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A COMPETENT SOILS ENGINEER WHO SHALL CERTIFY THAT ALL FILL HAS BEEN PROPERLY PLACED AND WHO SHALL SUBMIT A FINAL COMPACTION REPORT FOR ALL FILLS OVER 1' DEEP.
- FINAL COMPACTION REPORT WILL BE REQUIRED FOR ALL FILLS GREATER THAN 1'.
- A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT WRITTEN CERTIFICATION OF COMPLETION OF ROUGH GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO REQUESTING INSPECTION AND ISSUANCE OF THE BUILDING PERMIT. CERTIFICATION SHALL INCLUDE LINE, GRADE, ELEVATION AND LOCATION OF CUT/FILL SLOPES.
- A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION, WHERE SPECIFIC ELEVATIONS ARE REQUIRED, THE ELEVATION (WITH RESPECT TO MEAN SEA LEVEL) SHALL BE GIVEN, IF AN ELEVATION WITH RESPECT TO ADJACENT GROUND SURFACE IS REQUIRED, THE ACTUAL DISTANCE ABOVE THE ADJACENT GROUND SHALL BE GIVEN.
- A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL ENGINEER SHALL SUBMIT TO THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT WRITTEN CERTIFICATION OF FINAL GRADING IN ACCORDANCE WITH THE APPROVED PLAN FOR ALL GRADING DESIGNATED AS "ENGINEERED GRADING".
- THE CONTRACTOR SHALL NOTIFY THE CITY BUILDING AND SAFETY DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF REQUESTING FINISH LOT GRADE AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SAFETY SERVICE ALERT AT 1-800-227-2600 TWO DAYS BEFORE DIG. ALSO CONTRACTOR SHALL NOTIFY THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT AT (760) 329-6411 AT LEAST 24 HOURS IN ADVANCE OF REQUESTING FINISH LOT GRADING AND DRAINAGE INSPECTION. THIS INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION FOR EACH LOT.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. SUBJECT TO PROVISIONS OF SECTION 4215 OF THE CALIFORNIA GOVERNMENT CODE, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
- CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE PROVIDED ON ALL PROJECTS AS REQUIRED BY THE CITY OF DESERT HOT SPRINGS BUILDING AND SAFETY DEPARTMENT, OR AS DIRECTED BY THE CITY ENGINEER. AS A MINIMUM, ALL CONSTRUCTION SIGNING, LIGHTING AND BARRICADING ON CITY-OWNED PARCELS OR PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES", IN EFFECT DURING THE TIME OF THE WORK.
- EVIDENCE OF NPDES AND PM10 PERMIT, IF REQUIRED, SHALL BE SUBMITTED TO BUILDING AND SAFETY DEPARTMENT PRIOR TO ISSUANCE OF THE GRADING PERMIT.

NOTE: ROUGH GRADING QUANTITIES INCLUDE ROUGH GRADING WORK FOR THE STREET IMPROVEMENTS AND CONTRACTOR SHALL INCLUDE THAT WORK IN HIS SCOPE OF WORK AND BID FOR THIS PROJECT.

EARTHWORK QUANTITY	
CUT :	385 C.Y.
FILL :	750 C.Y.
IMPORT:	366 C.Y.

NOTE: THE QUANTITIES SHOWN ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE TO OBTAIN HIS OWN ESTIMATE FOR BID PURPOSES

SHEET INDEX	
SHT.	DESCRIPTION
1	COVER SHEET
2	GRADING SHEET
3	PM-10 PLAN
4	EROSION CONTROL



BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THESE PLANS IS THE SOUTH LINE OF GOVERNMENT LOTS 17 & 18, BEING THE CENTERLINE OF PAUL ROAD, BEARING NORTH 89° 37' 02" WEST PER RS 101/79

BENCH MARK: RIVERSIDE COUNTY FLOOD CONTROL & WATER CONSERVATION DISTRICT, BENCH MARK NO. 23, LOCATED AT THE CENTER 1/4 CORNER OF SECTION 30, T-3-S, R-5-E, S.B.M. ELEVATION: 578.86

REVISIONS:			
NO.	DESCRIPTION	BY	DATE

LAND DEVELOPMENT DESIGN COMPANY, LLC
 2313 E. Philadelphia St., Ste. F
 Ontario, CA 91761
 (909) 930-1466 · FAX (909) 930-1468

PLANNING · CIVIL · SURVEYING
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 KEVIN J. RICHER RCE 43714 EXP. 4/31/17



RECOMMENDED FOR APPROVAL:
 DATE: _____
 APPROVED BY: _____
 DATE: _____

INTERIM CITY ENGINEER
 R.C.E. NO 16742 EXPIRES 06-30-17
 RICHARD L. KOPECKY

Michael Platt Consulting
 12379 PALM DRIVE, SUITE 3
 PHONE: (760) 250-6265
 EMAIL: mplt@consulting@gmail.com

SCALE: AS SHOWN
 PLDT DATE: _____
 DESIGN BY: M.P.
 DRAWN BY: M.P.
 CHECKED BY: K.R.

OWNER:
 WILLIAM CONNER
 ACCUCANNA HEALTH CENTER
 2496 BAYSIDE WALK
 SAN DIEGO, CA 92109
 (619) 846-9222

CITY OF DESERT HOT SPRINGS
**ACCUCANNA HEALTH CENTER
 PRECISE GRADING PLAN**
COVER SHEET
 SECTION 30, TOWNSHIP 3 SOUTH, RANGE 5 EAST, S.B.M.
 W.O. 66016008 FOR: _____ DWG. _____

1 OF 4 SHEETS
 FILE NO. _____